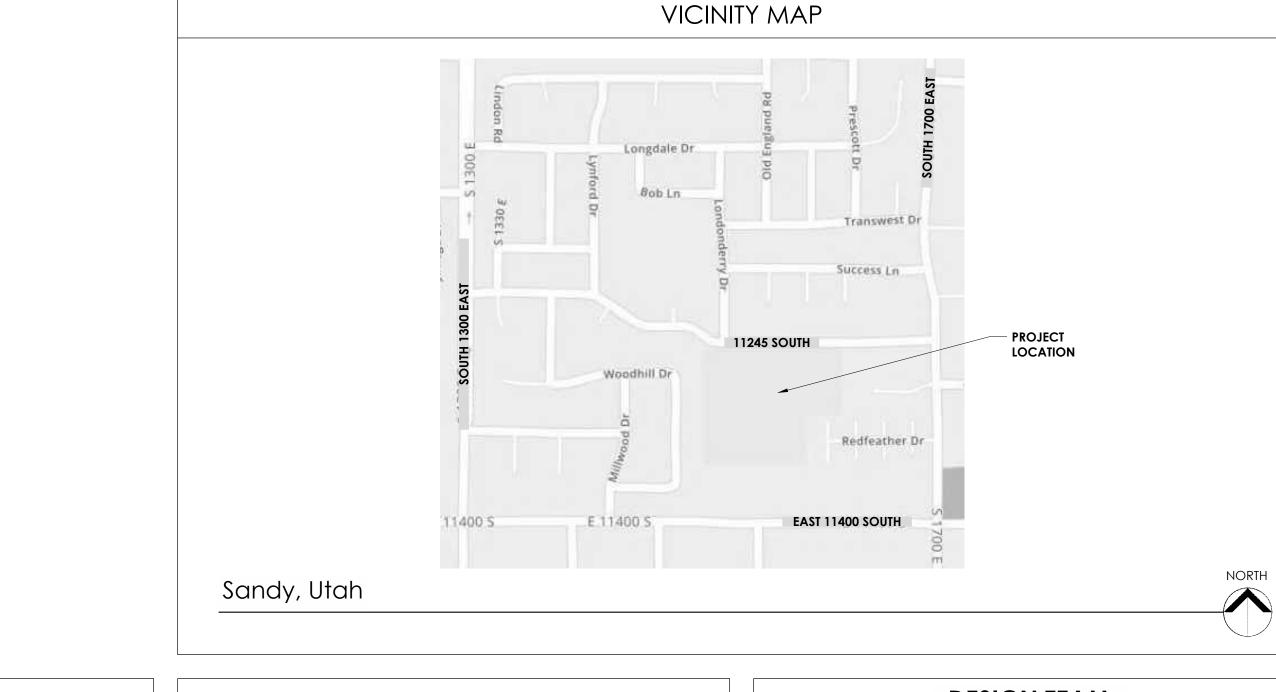
Sunrise Elementary School Front Line Upgrade

1542 East 11245 South Sandy, Utah 84092

Construction Documents



BLDG

BLKG

BYD

CTR

KNOCKOUT PANEL

LABORATORY

LAVATORY

MAXIMUM

MEZZANINE MANUFACTURER

MANHOLE

NUMBER

NOMINAL

MINIMUM; MINUTE

MASONRY OPENING

NOT IN CONTRACT

MISCELLANEOUS

MECH

NOM

MECHANICAL

STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS (IF PRESENT) ARE SUPPLEMENTAL TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS

- BEFORE THE INSTALLATION OF MECHANICAL OR ELECTRICAL CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND CONSULTING ENGINEERS' DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION. ANY CONSTRUCTION INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT HIS OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT. ALL WORK SHALL COMPLY WITH THE CURRENT ADA ACCESSIBILITY GUIDELINES
- (AMERICANS WITH DISABILITIES ACT). REFER TO THE CODE COMPLIANCE PLAN FOR APPLICABLE CODES GOVERNING THE THIS WORK. CODE REQUIREMENTS AND REGULATIONS SHALL BE CONSIDERED AS MINIMUM. WHERE THE CONTRACT DOCUMENTS EXCEED (WITHOUT VIOLATING) CODE AND REGULATION REQUIREMENTS, CONTRACT DOCUMENTS SHALL TAKE PRECEDENCE. IF CONFLICT EXIST, THE MORE STRINGENT SHALL APPLY.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE BARRICADES AND PROTECTIVE DEVICES SEPARATING CONSTRUCTION AREAS. TEMPORARY PASSAGES SHALL BE PROVIDED AS REQUIRED. PRIOR TO DELIVERY OF MATERIALS TO CONSTRUCTION ZONE AND REMOVAL OF WASTE FROM SITE, THE CONTRACTOR SHALL CHECK WITH THE OWNER FOR AN ACCEPTABLE ROUTE AND TIME.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER LOCATION AND SIZE OF OPENINGS FOR ALL TRADES AND SHALL COORDINATE ALL CONSTRUCTION AS INDICATED BY THE CONTRACT DOCUMENTS, INCLUDING SHOP DRAWINGS REVIEWED BY THE ARCHITECT.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK. FOR ALL REMODEL WORK AS OCCURS, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ALL MEASURES TO ACCOMPLISH THE WORK WITH THE MINIMUM OF INTERRUPTION TO NORMAL BUILDING PROCEDURES. SYSTEM SHUTDOWNS OF HVAC, PLUMBING, ELECTRICAL, AND NOISY CONSTRUCTION INCLUDING ROTO HAMMER, SAW CUTTING, CONCRETE ANCHORS, ETC. SHALL BE COORDINATED WITH THE OWNER AT LEAST 72 HOURS PRIOR TO COMMENCEMENT.
- ALL DIMENSIONS ARE SHOWN TO FACE OF FINISH OF NEW CONSTRUCTION AND FACE OF FINISH OF EXISTING CONSTRUCTION, UNLESS NOTED OTHERWISE. ALL DRAWINGS, THOUGH NOTED TO SCALE ARE FOR ILLUSTRATION ONLY. THE
- CONTRACTOR SHALL NOT SCALE DRAWINGS.). WHEN A DETAIL IS IDENTIFIED AS TYPICAL, THE CONTRACTOR IS TO APPLY THIS DETAIL IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
- ALL PENETRATIONS INTO SOUND OR FIRE RATED PARTITIONS, FLOORS OR CEILING ASSEMBLIES SHALL BE SEALED WITH APPROVED PERMANENT RESILIENT SEALANT. REFER TO IBC CURRENT VERSION FOR REQUIREMENTS FOR OPENINGS IN FIRE RATED WALLS. FOR OPENINGS LESS THAN 16 SQUARE INCHES, THE SPACE BETWEEN THE WALL AND ALLOWED PENETRATIONS MUST BE SEALED TO PREVENT THE MOVEMENT OF HOT FLAME OR GASES. ELECTRICAL DEVICES, RECESSED CABINETS, ETC. SHALL BE SEALED, LINED, INSULATED OR OTHERWISE TREATED TO MAINTAIN THE INTEGRITY
- OF THE ASSEMBLY. SEE PENETRATION DETAILS. . DRAWINGS HAVE BEEN DETAILED IN COMPLIANCE WITH U.L. LISTING REQUIREMENTS AND ICBO REPORTS FOR THE MATERIALS SPECIFIED. IF AN ALTERNATE OR SUBSTITUTED MATERIAL IS ACCEPTED AS AN EQUAL BY THE GENERAL CONTRACTOR, HE/SHE WILL ASSUME THE RESPONSIBILITY FOR WHATEVER CONSTRUCTION MODIFICATION AND/OR ADDITIONAL COSTS ARE REQUIRED
- . ALL TRASH SHALL BE REMOVED DAILY. BUILDING MATERIALS MAY NOT BE STORED IN THE CORRIDORS AT ANY TIME. BLOCKAGE OF ANY REQUIRED EXIT IS PROHIBITED. 14. THE CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF WATER AND DRAIN INSTALLATIONS AND OTHER REQUIRED SERVICES WITH EQUIPMENT MANUFACTURERS.
- . ABBREVIATIONS THROUGHOUT THE PLAN ARE THOSE IN COMMON USE. THE ARCHITECT SHALL DEFINE THE INTENT OF ANY IN QUESTION. 6. CONTRACTOR SHALL REFER TO THE PROJECT MANUAL FOR A COMPLETE LIST OF
- GENERAL CONDITIONS, SPECIAL CONDITIONS AND OTHER NOTES. ALL WOOD CANTS, NAILERS, CURBS, ETC. THROUGHOUT JOB SHALL BE FIRE RETARDANT PRESSURE-TREATED, AS PER I.B.C. CURRENT VERSION SEE RELEVANT

18. MAINTAIN ALL EXISTING SPRAY-APPLIED FIRE-PROOFING ON STEEL STRUCTURAL

- MEMBERS. WHERE EXISTING FIRE-PROOFING IS REMOVED FOR INSTALLATION OF NEW BEAMS, UNISTRUTS, ETC. THE CONTRACTOR SHALL PATCH AGAIN WITH EQUIVALENT FIRE PROOFING MATERIAL TO MATCH ADJACENT EXISTING MATERIAL. 19. CONTRACTOR TO PAINT INDICATOR OF RATING WITH STENCIL ON ALL RATED WALLS
- OF ONCE PER WALL SEGMENT. 20. PRIOR TO REMOVAL OF EXISTING BUILDING MATERIALS (INCLUDING WALLS, DOORS, WINDOWS, CEILING, ETC.) INDICATED IN THE DEMOLITION PLAN, THE CONTRACTOR SHALL THOROUGHLY COORDINATE EXISTING CONDITIONS, ARCHITECTURAL FLOOR
- PLANS, CEILING PLANS, FINISH SCHEDULES AND ALL CONSULTANT DRAWINGS TO DETERMINE EXACT EXTENT OF REMOVAL. . COORDINATE WITH OWNER'S REPRESENTATIVE REGARDING ITEMS SHOWN TO BE REMOVED THAT WILL BECOME PROPERTY OF THE OWNER OR RE-USED, CAREFULLY

REMOVE SUCH ITEMS SO AS NOT TO DAMAGE THEM.

22. IN EXISTING WALLS THAT ARE NOTED TO REMAIN, ANY NAILS, SCREWS, OR OPENINGS THAT REMAIN AS A RESULT OF EXISTING EQUIPMENT REMOVAL OR WALL REMOVAL SHALL BE PATCHED WITH SMOOTH, EVEN, INVISIBLE TRANSITION. IN PLACES WHERE EXISTING GYPSUM BOARD WALLS ARE CUT FOR INSTALLATION OF POWER OUTLETS, SWITCHES, THERMOSTATS, ETC., PATCH OPENING IN WALL WITH GYPSUM BOARD. PROVIDE SMOOTH, EVEN, INVISIBLE TRANSITION BETWEEN NEW AND EXISTING GYPSUM BOARD, ALL REPAIRING, PATCHING, MUDDING, ETC. OF EXISTING GYPSUM BOARD WALLS THAT ARE TO REMAIN SHALL BE INCLUDED IN THE

INTERIM LIFE SAFETY MEASURES

IMPLEMENTATION OF INTERIM LIFE SAFETY MEASURES (ILSM) IS REQUIRED IN OR ADJACENT TO ALL CONSTRUCTION AREAS AND THROUGHOUT BUILDINGS WITH EXISTING LSC DEFICIENCIES. ILSM APPLY TO ALL PERSONNEL, INCLUDING CONSTRUCTION WORKERS, MUST BE IMPLEMENTED UPON PROJECT DEVELOPMENT, AND CONTINUOUSLY ENFORCED THROUGH PROJECT COMPLETION, ILSM ARE INTENDED TO PROVIDE A LEVEL OF LIFE SAFETY COMPARABLE TO THAT DESCRIBED IN CHAPTERS 1 THROUGH 7, 31 AND THE APPLICABLE OCCUPANCY CHAPTERS OF THE LSC. EACH ILSM ACTION MUST BE DOCUMENTED THROUGH WRITTEN POLICIES AND PROCEDURES. EXCEPT AS STATED BELOW, FREQUENCIES FOR INSPECTION, TESTING, TRAINING, AND ILSM CONSIST OF THE

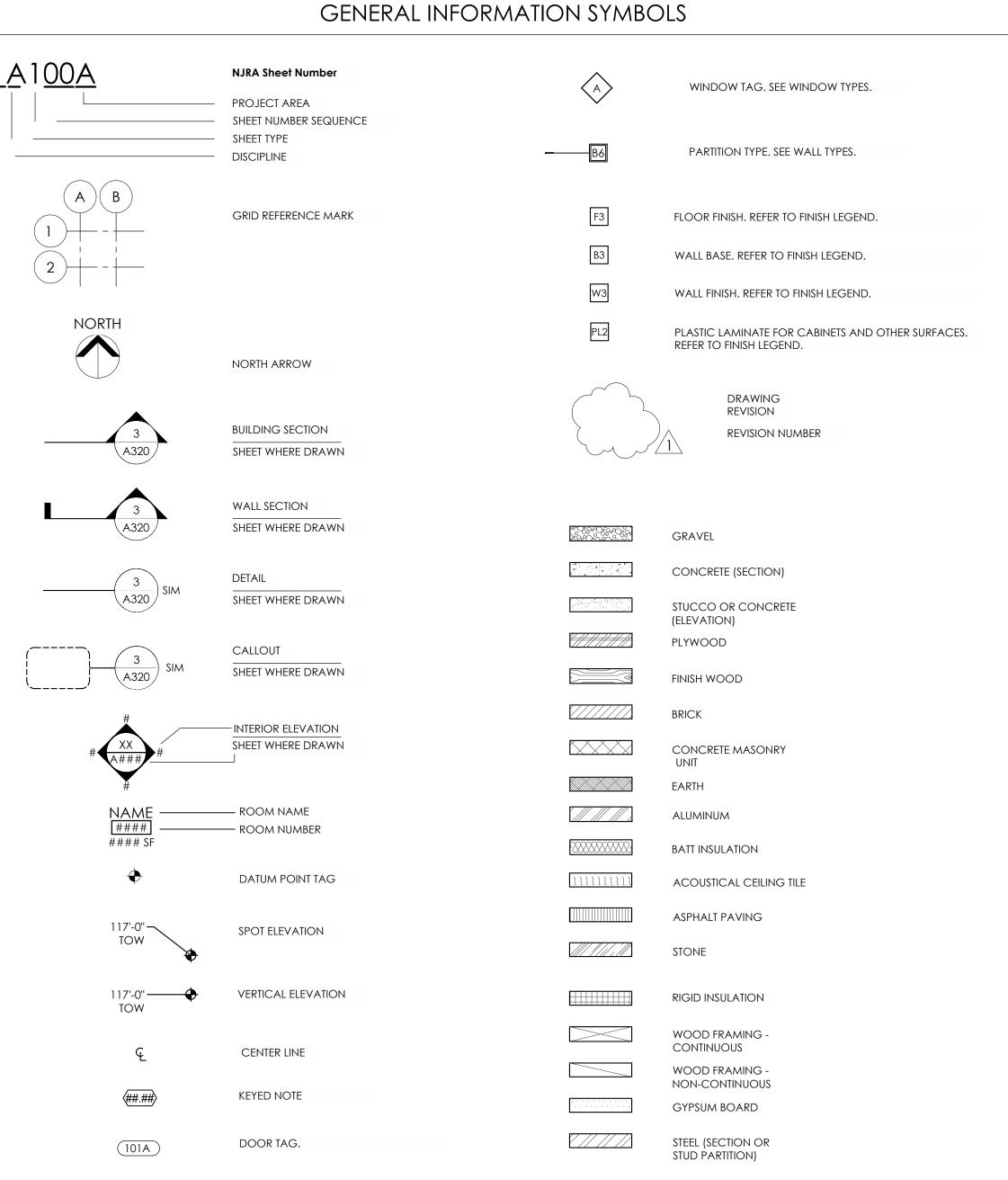
- ENSURING EXITS PROVIDE FREE AND UNOBSTRUCTED EGRESS. PERSONNEL SHALL RECEIVE TRAINING IF ALTERNATIVE EXITS MUST BE DESIGNATED. BUILDINGS OR AREAS UNDER CONSTRUCTION MUST MAINTAIN ESCAPE FACILITIES FOR CONSTRUCTION WORKERS AT ALL TIMES. MEANS OF EGRESS IN CONSTRUCTION AREAS MUST BE
- ENSURING FREE AND UNOBSTRUCTED ACCESS TO EMERGENCY DEPARTMENTS/ SERVICES AND FOR EMERGENCY FORCES.
- ENSURE FIRE ALARM, DETECTION, AND SUPPRESSION SYSTEMS ARE NOT IMPAIRED. A TEMPORARY, BUT EQUIVALENT, SYSTEM SHALL BE PROVIDED WHEN ANY FIRE SYSTEM IS IMPAIRED. TEMPORARY SYSTEMS MUST BE INSPECTED AND TESTED MONTHLY. ENSURING TEMPORARY CONSTRUCTION PARTITIONS ARE SMOKE TIGHT AND BUILT OF NONCOM OR LIMITED COMBUSTIBLE MATERIALS THAT WILL NOT CONTRIBUTE TO
- THE DEVELOPMENT OR SPREAD OF FIRE. PROVIDING ADDITIONAL FIRE-FIGHTING EQUIPMENT AND USE TRAINING OF
- PROHIBITING SMOKING IN ACCORDANCE WITH MA.1.3.15 AND IN OR ADJACENT
- TO ALL CONSTRUCTION AREAS. DEVELOPING AND ENFORCING STORAGE, HOUSEKEEPING, AND DEBRIS REMOVAL PRACTICES THAT REDUCE THE FLAMMABLE AND COMBUSTIBLE FIRE LOAD OF THE BUILDING TO THE LOWEST LEVEL NECESSARY FOR DAILY OPERATIONS.
- 8. CONDUCTING A MINIMUM OF TWO FIRE DRILLS PER SHIFT PER QUARTER 9. INCREASING HAZARD SURVEILLANCE OF BUILDINGS, GROUNDS, AND EQUIPMENT WITH SPECIAL ATTENTION TO EXCAVATIONS, CONSTRUCTION AREAS CONSTRUCTION STORAGE, AND FIELD OFFICES.
- 10. TRAINING PERSONNEL WHEN STRUCTURAL OR COMPARTMENT FEATURES OF FIRE SAFETY ARE COMPROMISED.
- . CONDUCTING ORGANIZATION WIDE SAFETY EDUCATION PROGRAMS TO ENSURE AWARENESS OF ANY LSC DEFICIENCIES, CONSTRUCTION HAZARDS, AND THESE ILSM.

DEFINITIONS

- GENERAL: BASIC CONTRACT DEFINITIONS ARE INCLUDED IN THE CONDITIONS OF THE
- "APPROVED": WHEN USED TO CONVEY ARCHITECT'S ACTION ON CONTRACTOR'S SUBMITTALS, APPLICATIONS, AND REQUESTS, "APPROVED" IS LIMITED TO ARCHITECT'S DUTIES AND RESPONSIBILITIES AS STATED IN THE CONDITIONS OF THE CONTRACT.
- "DIRECTED": A COMMAND OR INSTRUCTION BY ARCHITECT. OTHER TERMS INCLUDING "REQUESTED," "AUTHORIZED," "SELECTED," "REQUIRED," AND "PERMITTED" HAVE THE SAME MEANING AS "DIRECTED." "INDICATED": REQUIREMENTS EXPRESSED BY GRAPHIC REPRESENTATIONS OR IN WRITTEN
- FORM ON DRAWINGS, IN SPECIFICATIONS, AND IN OTHER CONTRACT DOCUMENTS. OTHER TERMS INCLUDING "SHOWN," "NOTED," "SCHEDULED," AND "SPECIFIED" HAVE THE SAME MEANING AS "INDICATED." "REGULATIONS": LAWS, ORDINANCES, STATUTES, AND LAWFUL ORDERS ISSUED BY
- AUTHORITIES HAVING JURISDICTION, AND RULES, CONVENTIONS, AND AGREEMENTS WITHIN THE CONSTRUCTION INDUSTRY THAT CONTROL PERFORMANCE OF THE WORK. "FURNISH": SUPPLY AND DELIVER TO PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION, AND SIMILAR OPERATIONS.
- "INSTALL": UNLOAD, TEMPORARILY STORE, UNPACK, ASSEMBLE, ERECT, PLACE, ANCHOR, APPLY, WORK TO DIMENSION, FINISH, CURE, PROTECT, CLEAN, AND SIMILAR OPERATIONS AT PROJECT SITE. 8. "PROVIDE": FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE.
- 9. "PROJECT SITE": SPACE AVAILABLE FOR PERFORMING CONSTRUCTION ACTIVITIES. THE EXTENT OF PROJECT SITE IS SHOWN ON DRAWINGS AND MAY OR MAY NOT BE IDENTICAL WITH THE DESCRIPTION OF THE LAND ON WHICH PROJECT IS TO BE BUILT.

GENERAL NOTES (CONTINUED)

- 23. THE CONTRACTOR AND SUB-CONTRACTORS SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE DISRUPTION OF EXISTING SCHOOL ACTIVITIES DURING DEMOLITION AND CONSTRUCTION ACTIVITIES THAT OCCUR WHILE SCHOOL IS IN SESSION.
- 24. EXISTING CEILING, MECHANICAL ITEMS, PLUMBING ITEMS, FINISHES, EQUIPMENT, SPECIALTIES, ETC. ARE TO REMAIN UNLESS SPECIFICALLY NOTED FOR REMOVAL. PROTECT ALL ITEMS FROM DAMAGE.
- 25. ALL ITEMS; FLOORS, WALLS, DOORS, CEILING, FINISHES, MECHANICAL, PLUMBING, ELECTRICAL, SPECIALTIES, ETC. ARE EXISTING UNLESS NOTED OTHERWISE.
- 26. ALL REQUIRED ABESTOS ABATEMENT TO BE COMPLETED BY OWNER.



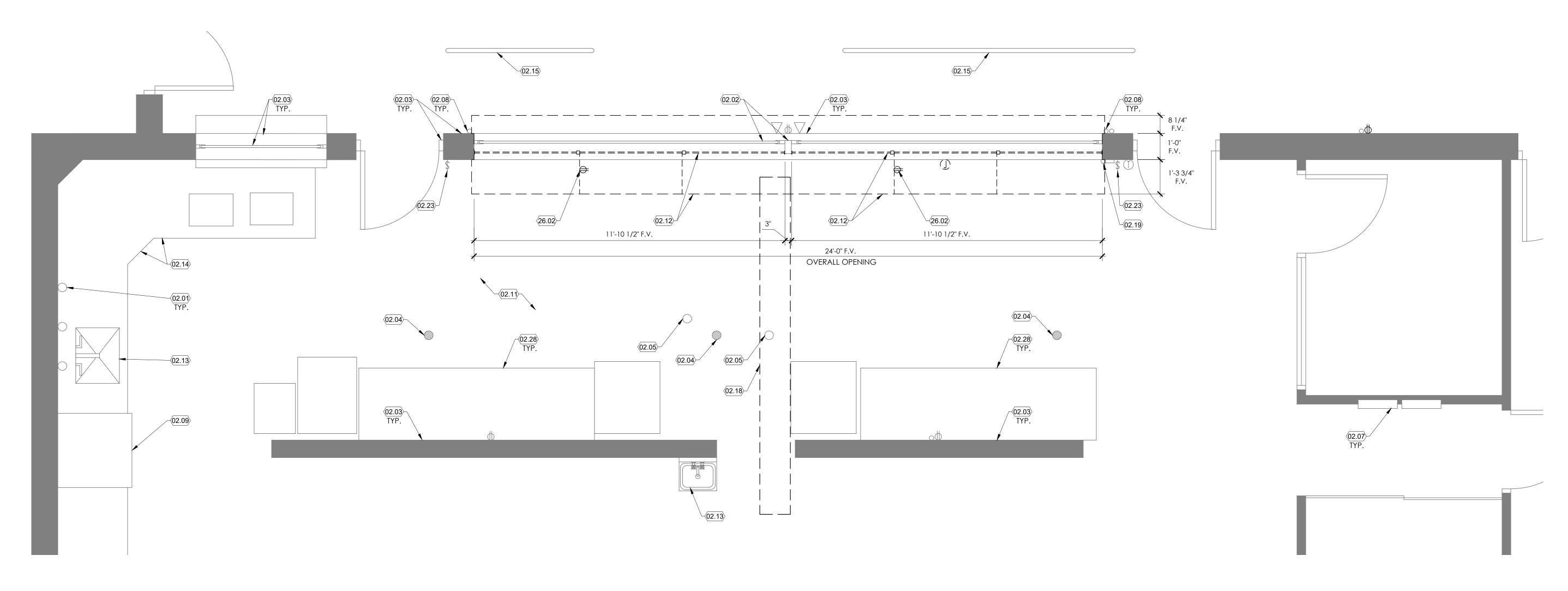
ABBREVIATIONS AIR CONDITIONING ARCHITECT NOT TO SCALE ABOVE FINISH FLOOR OVERALL; OUTSIDE AIR NJRA Architects, Inc. ALTERNATE ON CENTER 5272 South College Dr., Suite 104 AHUM ALUMINUM OUTSIDE DIAMETER APPROX APPROXIMATE OWNER FURNISHED, OWNER OFOI Murray, Utah 84123 ARCHITECT (URAL) Phone: 801.364.9259 OWNER FURNISHED CONTRACTOR INSTALLED Project Manager: Tiffin West BUILDING OVERHEAD Email: tifwes@njraarchitects.com BLOCK OPPOSITE **BOTTOM OF PERPENDICULAR** BOTTOM BEARING PROPERTY LINE BEYOND PLASTIC LAMINATE PLATE **CATCH BASIN** PHIMBING CONTRACTOR FURNISHED, PLYWD PLYWOOD CONTRACTOR INSTALLED PAIR KITCHEN DESIGN CAST IN PLACE PREFAB PREFABRICATE(D) Jedrziewski Designs CONTROL JOINT CENTER LINE 1537 East Yale Avenue Salt Lake City, Utah 84105 (801) 582-9747 CONCRETE MASONRY UNIT REFRIGERATOR CLEANOUT REINFORCE (D) (ING) (MENT) Ric Jedrziewski REQUIRED COMMUNICATION ROOM Project Manager: Ric Jedrziewski CONC CONCRETE ROUGH OPENING Email: ricj@jedrziewskidesigns.com CONST CONSTRUCTION RTD CONTINUOUS ROOF TOP (HVAC) UNIT RTU CONTR CONTRACTOR ROOF VENT COORD COORDINATE CORR CORRIDOR SCHED SCHEDULE **COUNTER SUNK** SQUARE FEET ELECTRICAL ENGINEER CENTER SIMILAR MECHANICAL ENGINEER SPECIFICATION Olsen & Peterson BNA Consulting DEMOLITION DEMO STANDARD 14 East 2700 South 635 State St DIAGONAL STEEL South Salt Lake, Utah 84115 Salt Lake City, Utah 84111 STRUCTURAL DIMENSION STRUCT (801) 486-4646 (801) 532-2196 SUSPENDED DOWN DOOR Drayton Bailey DOWNSPOUT THICKNESS $\mathsf{TOP} \, \mathsf{OF}$ Project Manager: John Eagen Project Manager: Drayton Bailey DRAWING TOP OF BEAM Email: drayton@bnaconsulting.com Email: johne@op-eng.com TOP OF SLAB, TOP OF **ELEVATION** STRUCTURE TOW TOP OF WALL FI FCTRIC **ELEVATOR** TYPICAL **EQUIPMENT** ELECTRIC WATER COOLER **EXPANSION** VINYL COMPOSITION TILE DRAWING INDEX **VERT** FLOOR DRAIN VFSTIBUL F FIRE EXTINGUISHER CABINET VTR VENT THROUGH ROOF GENERAL INFORMATION **FLOOR** G001 Title & Information Sheet FOOT; FEET WITHOUT FIELD VERIFY WATER CLOSET WOOD ARCHITECTURAL DRAWINGS WIDE FLANGE GALVANIZED WATER HEATER Demolition and New Floor Plans GALVANIZED IRON WELDED WIRE FABRIC Interior Elevations, Section, and Details GLU LAM GLUED LAMINATED WOOD GYPSUM PLUMBING DRAWINGS HANDICAPPED P111 Plumbing Floor Plans HEATING, VENTILATION, AIR CONDITIONING FOOD SERVICE DRAWINGS INSIDE DIAMETER Food Service Equipment Plan ISOMETRIC Food Service Equipment MEP Requirement Plans JOINT KNOCKED DOWN

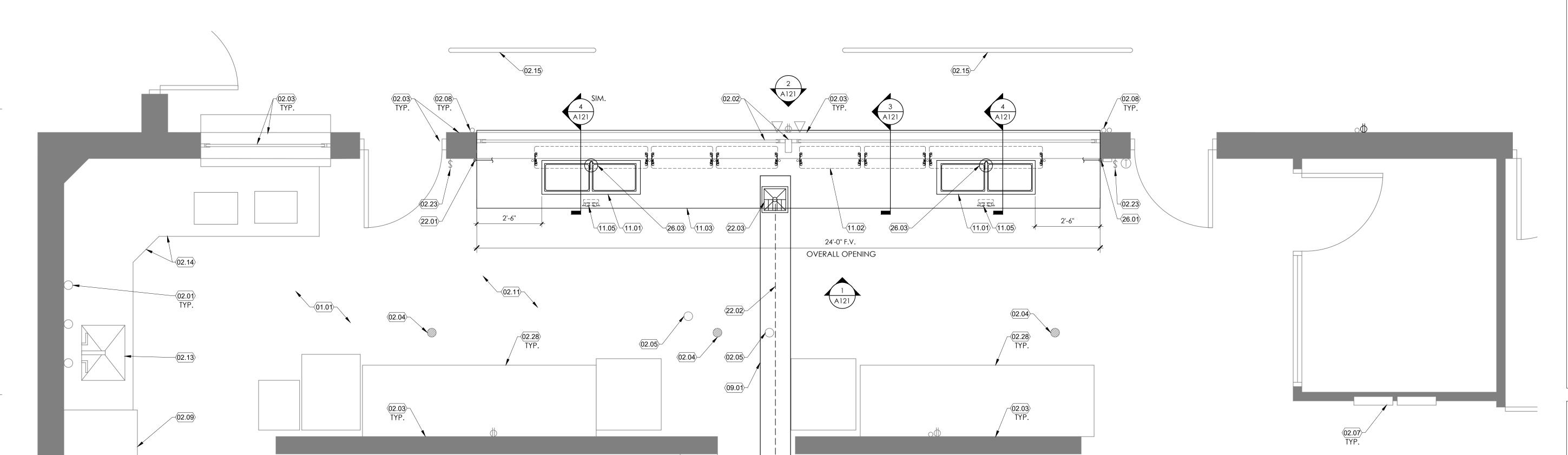
NJRA Project #

Construction Documents

18712.11

Jan. 22, 2024





Floor Plan
Scale: 1/4" = 1'-0"

Demolition Floor Plan
Scale: 1/4" = 1'-0"

KEYED NOTES

- 01.01 NOT USED. 02.01 EXISTING PARTIALLY EXPOSED EXISTING WATER LINE, VALVES, & WASTE LINE UNDER EXISTING COUNTERTOP TO REMAIN. PROTECT FROM DAMAGE. FIELD
- 02.02 EXISTING ROLL-UP DOORS, FRAMES, & COLUMNS TO REMAIN. PROTECT FROM
- DAMAGE. FIELD VERIFY. 02.03 EXISTING WALL, DOORS, FINISHES, MECHANICAL, PLUMBING, ELECTRICAL, ETC. TO REMAIN. PROTECT FROM DAMAGE. FIELD VERIFY EXACT CONDTIONS.

02.04 APPROX. LOCATION OF EXISTING FLOOR DRAIN TO REMAIN. PROTECT FROM

- DAMAGE. FIELD VERIFY. 02.05 APPROX. LOCATION OF EXISTING CLEAN OUT TO REMAIN. PROTECT FROM DAMAGE. FIELD VERIFY.
- 02.07 APPROX. LOCATION OF EXISTING ELECTRICAL PANELS TO REMAIN. PROTECT
- FROM DAMAGE. FIELD VERIFY. 02.08 EXISTING CONDUIT TO REMAIN. PROTECT FROM DAMAGE. FIELD VERIFY.
- 02.09 APPROX. LOCATION OF EXISTING DISH WASHER TO REMAIN. PROTECT FROM DAMAGE. FIELD VERIFY.
- 02.11 EXISTING GYPSUM CEILING ABOVE TO REMAIN. PROTECT FROM DAMAGE. 02.12 EXISTING STAINLESS STEEL COUNTERTOP, SNEEZE GUARD, & WOOD CABINETS
- TO BE REMOVED. PROTECT EXISTING DOOR, FRAME, WALLS, FLOOR, ETC. FROM DAMAGE. FIELD VERIFY.
- 02.13 EXISTING SINK TO REMAIN. PROTECT FROM DAMAGE. FIELD VERIFY. 02.14 EXISTING STAINLESS STEEL COUNTERTOP TO REMAIN. PROTECT FROM
- DAMAGE. FIELD VERIFY. 02.15 EXISTING RAILINGS TO REMAIN. PROTECT FROM DAMAGE, FIELD VERIFY.
- 02.18 TO PROTECT EXISTING ELECTRICAL CONDUITS, SAWCUT 3" DEEP MAXIMUM FOR NEW PLUMBING WASTE LINE. THEN USE SLEDGEHAMMER TO REMOVE THE REMAINDER OF THE CONCRETE. PROTECT EXISTING FLOOR, FLOOR DRAIN, WALLS, AND EQUIPMENT FROM DAMAGE. FIELD VERIFY EXISTING CONDITIONS AND COORDINATE WITH PLUMBING PLANS.
- 02.19 EXISTING ELECTRICAL CONDUIT & SERVICE TO BE REMOVED. PATCH & REPAIR EXISTING WALL AS REQUIRED. FIELD VERIFY.
- 02.23 EXISTING LIGHT SWITCH TO REMAIN. PROTECT FROM DAMAGE. FIELD VERIFY.
- 02.28 EXISTING EQUIPMENT TO REMAIN. PROTECT FROM DAMAGE. FIELD VERIFY. 09.01 PATCH AND REPAIR EXISTING FLOOR AS REQUIRED. NEW FINISHED FLOOR TO BE FLUSH W/ EXISTING FINISHED FLOOR. FIELD VERIFY. COORDINATE W/ OWNER REP. AND ARCHITECT. PROTECT EXISTING FLOOR, FLOOR DRAIN,

WALLS, & EQUIP. FROM DAMAGE. FIELD VERIFY. SEE PLUMBING PLANS.

- 11.01 COUNTER MOUNT 2-PAN FOOD WELL SYSTEM. SEE FOOD SERVICE PLANS &
- 11.02 SNEEZE GUARD. SEE ELEVATIONS, FOOD SERVICE PLANS, & SPEC'S.
- 11.03 STAINLESS STEEL SERVING COUNTER, CABINET FRAME, SHELVING, BACK PANEL, SIDE PANEL, & KICKPLATE. SEE ELEVATIONS, FOOD SERVICE PLANS, & SPEC'S. 11.05 2-PAN FOOD WELL CONTROLS, SEE ELEVATIONS & FOOD SERVICE PLANS.
- 22.01 DROP 1/2" HOT WATER COPPER LINE DOWN FROM CEILING AT WALL. INSTALL TIGHT TO WALL W/ STAINLESS STEEL COVER. EXTEND UNDER COUNTER AS SHOWN & EXTEND AND CONNECT TO FOOD WELL SYSTEM AS REQUIRED. COORDINATE ROUTING W/ OWNER. FIELD VERIFY. SEE ELEVATIONS, PLUMBING PLANS, & FOOD SERVICE PLANS.
- 22.02 EXTEND WASTE LINE UNDER EXISTING FLOOR FROM FLOOR SINK TO EXISTING WASTE LINE. FIELD VERIFY. PATCH & REPAIR CONC. SLAB & TILE AS REQUIRED. FINISHED NEW FLOOR TO BE FLUSH W/ EXISTING FINISHED FLOOR. PROTECT EXISTING FLOOR, WALLS, & EQUIP. FROM DAMAGE. FIELD VERIFY. SEE PLUMBING PLANS.
- 22.03 WHITE ENAMEL FLOOR SINK WITH DOME GRATE. SAWCUT EXISTING FLOOR AS REQUIRED. PROTECT EXISTING FLOOR, WALLS, & EQUIP. FROM DAMAGE. FIELD VERIFY. SEE PLUMBING PLANS. 26.01 DROP ELECTRICAL SERVICE DOWN FROM CEILING AT WALL IN CONDUIT.
- INSTALL TIGHT TO WALL W/ STAINLESS STEEL COVER. EXTEND UNDER COUNTER AS SHOWN & EXTEND & CONNECT TO FOOD WELL SYSTEM AS REQUIRED. COORDINATE ROUTING W/ OWNER. FIELD VERIFY. SEE ELEVATIONS & FOOD SERVICE PLANS.
- 26.02 EXISTING ELECTRICAL OUTLET, JUNCTION BOX, & ASSOCIATED SERVICE/CONDUIT TO BE REMOVED AS REQUIRED. REMOVE BACK TO SOURCE. FIELD VERIFY.
- 26.03 PROVIDE (1) 20A 3 POLE BREAKER WITHIN EXISTING 120/208V 3P SURFACE PANELBOARD SHOWN ON THIS PAGE. PROVIDE 3#12+1#12G. THHN CU. IN 3/4" CONDUIT AND WIRE THE NEW HOT FOOD WARMER AS REQUIRED. COORDINATE EXACT LOCATION AND TERMINATION REQUIREMENTS WITH ARCHITECT AND KITCHEN EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN.

GENERAL NOTES

- A. PRIOR TO REMOVAL OF EXISTING BUILDING MATERIALS (INCLUDING WALLS, DOORS, WINDOWS, CEILING, ETC.) INDICATED IN THE DEMOLITION PLAN, THE CONTRACTOR SHALL THOROUGHLY COORDINATE EXISTING CONDITIONS, ARCHITECTURAL FLOOR PLANS, CEILING PLANS, FINISH SCHEDULES AND ALL CONSULTANT DRAWINGS TO DETERMINE EXACT EXTENT OF REMOVAL.
- COORDINATE WITH OWNER'S REPRESENTATIVE REGARDING ITEMS SHOWN TO BE REMOVED THAT WILL BECOME PROPERTY OF THE OWNER OR RE-USED. CAREFULLY REMOVE SUCH ITEMS SO AS NOT TO DAMAGE THEM.
- IF DEMO OR NEW CONSTRUCTION OCCURS IN EXISTING FIRE RATED AREAS, VERIFY THAT ALL PENETRATIONS IN THE EXISTING FIRE RATED WALLS, FLOORS, OR CEILINGS ARE SEALED IN ACCORDANCE WITH CURRENT I.B.C. AND U.L. REQUIREMENTS.
- IN EXISTING WALLS THAT ARE NOTED TO REMAIN, ANY NAILS, SCREWS, OR OPENINGS THAT REMAIN AS A RESULT OF EXISTING EQUIPMENT REMOVAL OR WALL REMOVAL SHALL BE PATCHED WITH SMOOTH, EVEN, INVISIBLE TRANSITION. IN PLACES WHERE EXISTING GYPSUM BOARD WALLS ARE CUT FOR INSTALLATION OF POWER OUTLETS, SWITCHES, THERMOSTATS, ETC., PATCH OPENING IN WALL WITH GYPSUM BOARD. PROVIDE SMOOTH, EVEN, INVISIBLE TRANSITION BETWEEN NEW AND EXISTING GYPSUM BOARD. ALL REPAIRING, PATCHING, MUDDING, ETC. OF EXISTING GYPSUM BOARD WALLS THAT ARE TO REMAIN SHALL BE INCLUDED IN THE BID.
- THE CONTRACTOR AND SUB-CONTRACTORS SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE DISRUPTION OF EXISTING SCHOOL ACTIVITIES DURING DEMOLITION AND CONSTRUCTION ACTIVITIES THAT OCCUR WHILE SCHOOL IS IN SESSION.
- EXISTING CEILING, MECHANICAL ITEMS, PLUMBING ITEMS, FINISHES, EQUIPMENT, SPECIALTIES, ETC. ARE TO REMAIN UNLESS SPECIFICALLY NOTED FOR REMOVAL. PROTECT ALL ITEMS FROM DAMAGE.
- G. ALL ITEMS; FLOORS, WALLS, DOORS, CEILING, FINISHES, MECHANICAL, PLUMBING, ELECTRICAL, SPECIALTIES, ETC. ARE EXISTING UNLESS NOTED OTHERWISE.
- H. ALL REQUIRED ABESTOS ABATEMENT TO BE COMPLETED BY OWNER.

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RAJAVELU

NJRA Project # Construction Documents

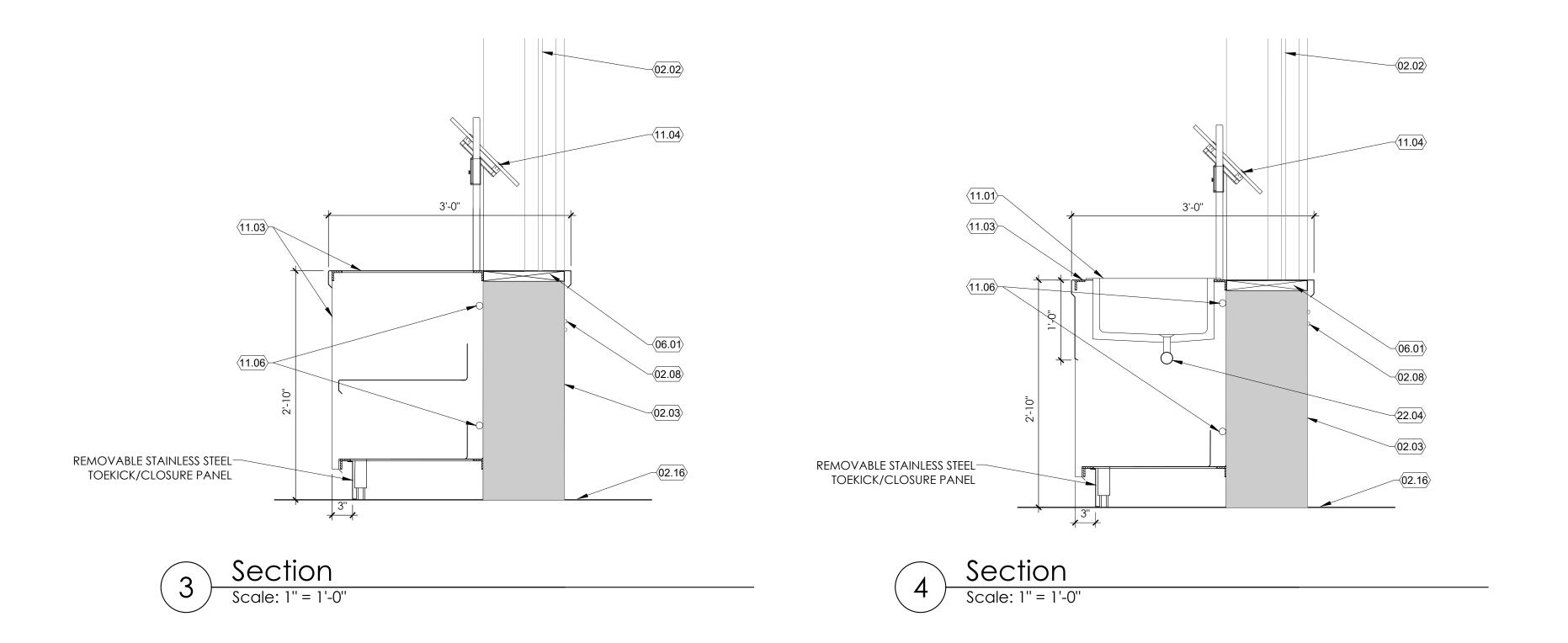
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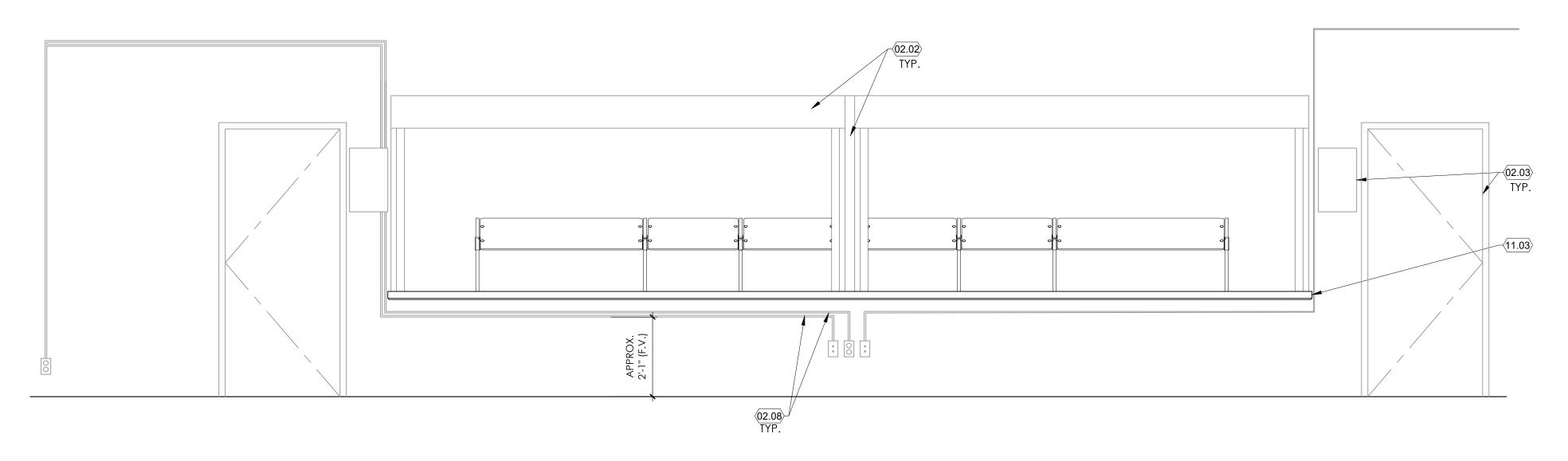
Jan. 22, 2024

Demolition & New Floor Plans

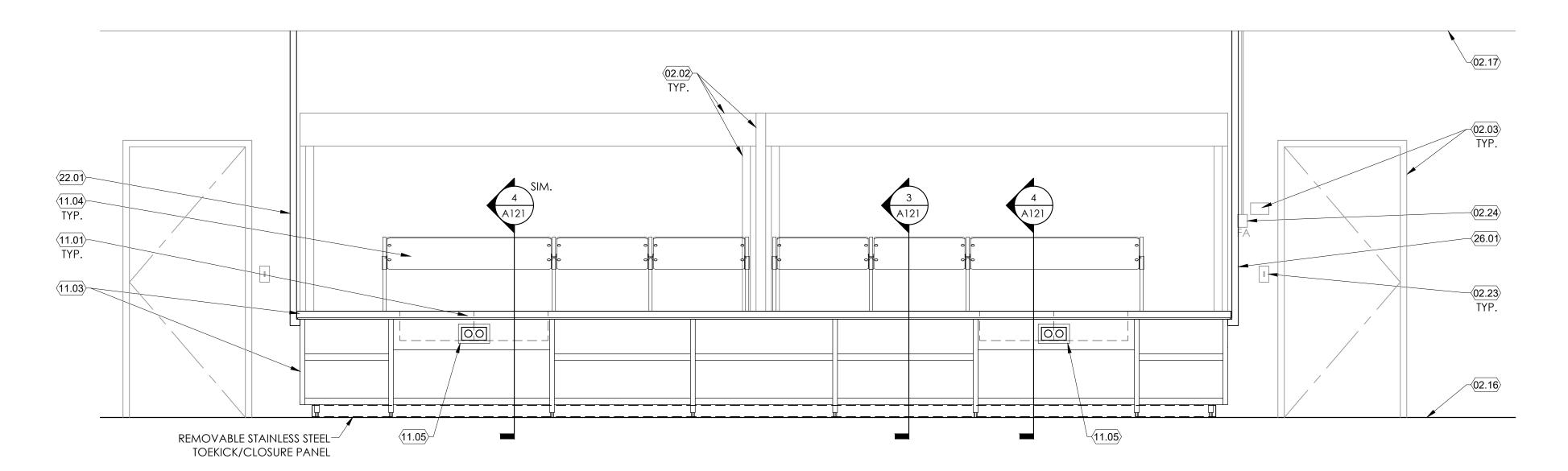
LOCATION

Key Plan





West Elevation Scale: 1/2" = 1'-0"



1 East Elevation
Scale: 1/2" = 1'-0"

KEYED NOTES

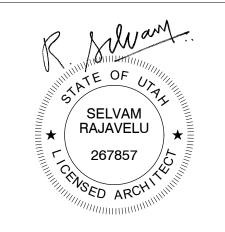
- 02.02 EXISTING ROLL-UP DOORS, FRAMES, & COLUMNS TO REMAIN. PROTECT FROM DAMAGE. FIELD VERIFY.
- 02.03 EXISTING WALL, DOORS, FINISHES, MECH., PLUMB., ELEC., ECT. TO REMAIN. PROTECT FROM DAMAGE. FIELD VERIFY EXACT CONDITIONS.
- 02.08 EXISTING CONDUIT TO REMAIN. PROTECT FROM DAMAGE. FIELD VERIFY.
 02.16 LINE OF EXISTING FLOOR.
- 02.17 LINE OF EXISTING CEILING.
 02.23 EXISTING LIGHT SWITCH TO REMAIN. PROTECT FROM DAMAGE. FIELD VERIFY.
 02.24 EXISTING FIRE ALARM PULL & WIRE LOOM. PROTECT FROM DAMAGE. FIELD
- 06.01 NEW 2X WOOD BLOCKING.
 11.01 COUNTER MOUNT 2-PAN FOOD WELL SYSTEM. SEE FOOD SERVICE PLANS &
- 11.03 NEW STAINLESS STEEL SERVING COUNTER, CABINET FRAME, SHELVING, BACK PANEL, SIDE PANEL, & KICKPLATE. SEE ELEVATIONS, FOOD SERVICE PLANS &
- SPECS.
 11.04 STAINLESS STEEL ADJUSTABLE SNEEZE GUARD/ FOOD PROTECTOR ATTACH
- FROM BELOW COUNTER. SEE FOOD SERVICE SERVICE PLANS & SPEC'S.

 11.05

 2-PAN FOOD WELL CONTROLS. KEEP ELECTRICAL FLEX FASTENED TO CABINET BODY, TO MAINTAIN USABLE SHELF SPACE.
- 11.06 APPROX. LOCATION OF WATERLINE AND/OR ELECTRICAL CONDUIT. INSTALL THESE LINES TIGHT TO WALL. WATER SUPPLY PIPE AND ELECTRICAL CONDUITS SHALL NOT HANG DOWN IN THE USABLE SHELF SPACE.
- 22.01 DROP NEW 1/2" HOT WATER COPPER LINE DOWN FROM CEILING AT WALL.
 INSTALL TIGHT TO WALL W/ STAINLESS STEEL COVER. EXTEND UNDER NEW
 COUNTER AS SHOWN & EXTEND AND CONNECT TO NEW FOOD WELL SYSTEM
 AS REQUIRED. COORDINATE ROUTING W/ OWNER. SEE ELEVATIONS,
 PLUMBING PLANS, & FOOD SERVICE PLANS.
- 22.04 DRAIN LINE FROM FOOD WELL, SEE FOOD SERVICE AND PLUMBING PLANS.
 DRAIN LINE IS TO RUN AS HIGH AS FITTINGS WILL ALLOW, TO MAINTAIN USABLE SHELF SPACE.
- 26.01 DROP NEW ELECTRICAL SERVICE DOWN FROM CEILING AT WALL IN CONDUIT. INSTALL TIGHT TO WALL W/ STAINLESS STEEL COVER. EXTEND UNDER NEW COUNTER AS SHOWN & EXTEND & CONNECT TO NEW FOOD WELL SYSTEM AS REQUIRED. COORDINATE ROUTING W/ OWNER. SEE ELEVATIONS & FOOD SERVICE PLANS.

NJ2A ARCHITECTS

NJRA Architects, Inc. 5223 S. Ascension Way, Suite350 Murray, Utah 84123 801.364.9259 www.njraarchitects.com



GENERAL NOTES

- A. PRIOR TO REMOVAL OF EXISTING BUILDING MATERIALS (INCLUDING WALLS, DOORS, WINDOWS, CEILING, ETC.) INDICATED IN THE DEMOLITION PLAN, THE CONTRACTOR SHALL THOROUGHLY COORDINATE EXISTING CONDITIONS, ARCHITECTURAL FLOOR PLANS, CEILING PLANS, FINISH SCHEDULES AND ALL CONSULTANT DRAWINGS TO DETERMINE EXACT EXTENT OF REMOVAL.
- B. COORDINATE WITH OWNER'S REPRESENTATIVE REGARDING ITEMS SHOWN TO BE REMOVED THAT WILL BECOME PROPERTY OF THE OWNER OR RE-USED. CAREFULLY REMOVE SUCH ITEMS SO AS NOT TO DAMAGE THEM.
- C. IF DEMO OR NEW CONSTRUCTION OCCURS IN EXISTING FIRE RATED AREAS, VERIFY THAT ALL PENETRATIONS IN THE EXISTING FIRE RATED WALLS, FLOORS, OR CEILINGS ARE SEALED IN ACCORDANCE WITH CURRENT I.B.C. AND U.L. REQUIREMENTS.
- D. IN EXISTING WALLS THAT ARE NOTED TO REMAIN, ANY NAILS, SCREWS, OR OPENINGS THAT REMAIN AS A RESULT OF EXISTING EQUIPMENT REMOVAL OR WALL REMOVAL SHALL BE PATCHED WITH SMOOTH, EVEN, INVISIBLE TRANSITION. IN PLACES WHERE EXISTING GYPSUM BOARD WALLS ARE CUT FOR INSTALLATION OF POWER OUTLETS, SWITCHES, THERMOSTATS, ETC., PATCH OPENING IN WALL WITH GYPSUM BOARD. PROVIDE SMOOTH, EVEN, INVISIBLE TRANSITION BETWEEN NEW AND EXISTING GYPSUM BOARD. ALL REPAIRING, PATCHING, MUDDING, ETC. OF EXISTING GYPSUM BOARD WALLS THAT ARE TO REMAIN SHALL BE INCLUDED IN THE BID.
- THE CONTRACTOR AND SUB-CONTRACTORS SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE DISRUPTION OF EXISTING SCHOOL ACTIVITIES DURING DEMOLITION AND CONSTRUCTION ACTIVITIES THAT OCCUR WHILE SCHOOL IS IN SESSION.
- EXISTING CEILING, MECHANICAL ITEMS, PLUMBING ITEMS, FINISHES, EQUIPMENT, SPECIALTIES, ETC. ARE TO REMAIN UNLESS SPECIFICALLY NOTED FOR REMOVAL. PROTECT ALL ITEMS FROM DAMAGE.
- G. ALL ITEMS; FLOORS, WALLS, DOORS, CEILING, FINISHES, MECHANICAL, PLUMBING, ELECTRICAL, SPECIALTIES, ETC. ARE EXISTING UNLESS NOTED OTHERWISE.
- H. ALL REQUIRED ABESTOS ABATEMENT TO BE COMPLETED BY OWNER.

Sanyons School District
Cafeteria Front Line Upgi

NJRA Project #

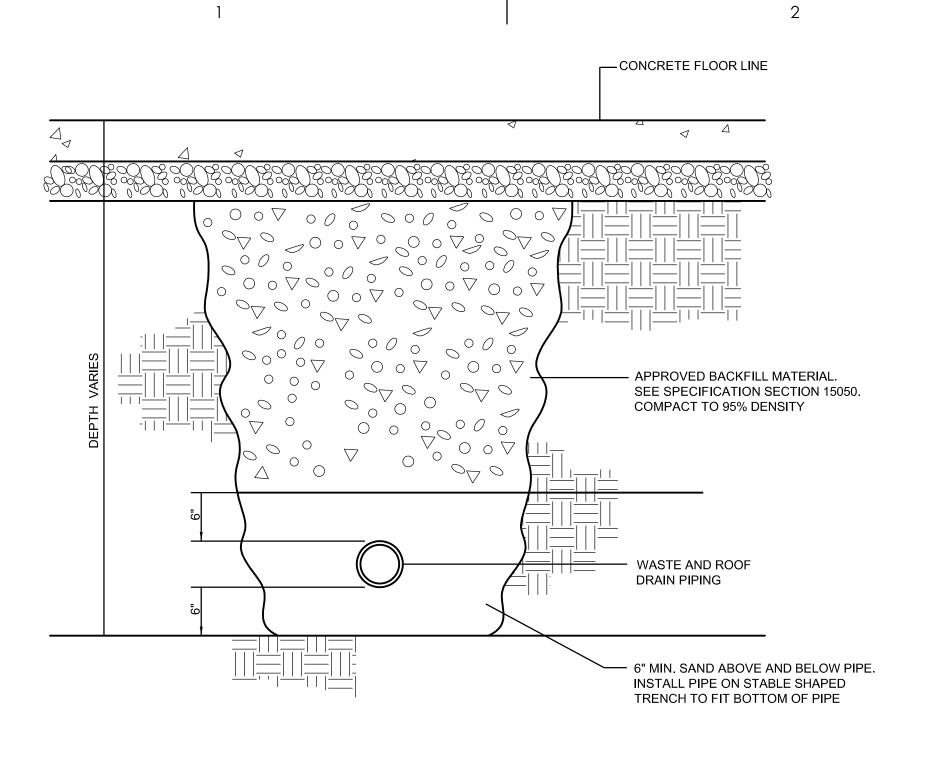
Construction Documents

Interior
Elevations,
Sections, &
Details

18712.11

Jan. 22, 2024

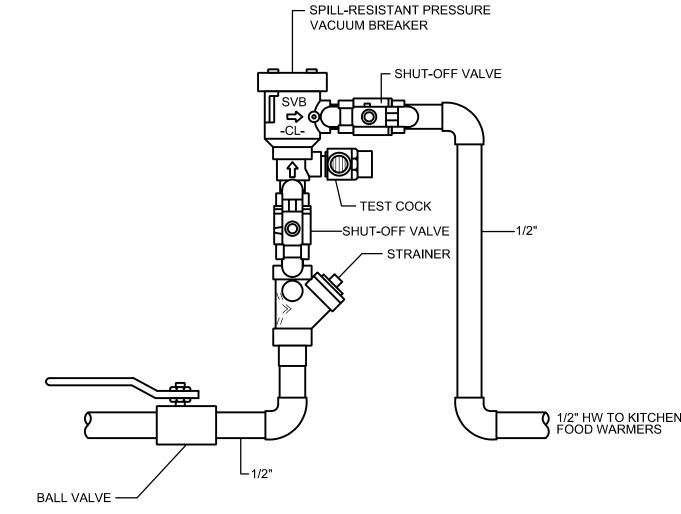
A12



TYPICAL WASTE & ROOF DRAIN TRENCH DETAIL NOT TO SCALE

---- HANGER ROD OVERSIZED CLEVIS HANGER. MOUNT ON OUTSIDE OF INSULATION ---DETAIL APPLIES TO ALL DOMESTIC WATER AND ROOF DRAIN PIPING. PIPE INSULATION (SEE SPECIFICATIONS) INSULATION SHIELD. SIZE SHIELD TO PREVENT COMPRESSION OF INSULATION. VAPOR SEAL ALL SEAMS, JOINTS, AND TERMINALS WHEN USED ON LOW TEMPERATURE PIPE — RIGID CALCIUM SILICATE ——BLOCK INSULATION. EXTEND 6" BEYOND SHIELD

> PIPE SUPPORT DETAIL NOT TO SCALE



SPILL-RESISTANT VACUUM BREAKER AT KITCHEN FOOD WARMERS NOT TO SCALE

PLUMBING FIXTURE SCHEDULE VENT NOTES FIXTURE PROVIDE GRATE AS REQ'D FLOOR SINK INSTALL FLUSH WITH FLOOR

(1) CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL PLUMBING FIXTURES WITH ARCHITECTURAL DRAWINGS PRIOR TO ROUGH-IN OR INSTALLATION.

(2) COORDINATE EXACT LOCATION WITH KITCHEN PLANS.

		GRILLE	SCHEDULE		
SYMBOL	SIZE	LOCATION	TYPE	MAKE & MODEL	(1)
G-1	24" x 24"	LAY-IN CEILING	RETURN AIR	PRICE 535	(2)

(1) GRILLE SHALL HAVE BRIGHT WHITE FINISH. (2) GRILLE MOUNTING FRAME SHALL BE FOR HARD LID CEILING.

PLUMBING PIPING LEGEND

DESCRIPTION	SYMBOL
WASTE (BELOW GRADE)	
/ENT	
COLD WATER	
HOT WATER (120 DEG.F.)	
HOT WATER RECIRCULATING (120 DEG.F.)	
HOT WATER SUPPLY (140° DEG F)	140°
HOT WATER RECIRCULATING 140° DEG F)	140°
DRAIN	D

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GENERAL NOTES

CONTRACTOR TO FIELD VERIFY LOCATION OF ALL EXISTING

- 2 CONTRACTOR TO SAWCUT AND EXCAVATE TRENCH FOR NEW WASTE LINE. CONTRACTOR TO BACKFILL AND COMPACT FILL AND
- RUN HOT WATER ABOVE EXISTING CEILING. COORDINATE ROUTING WITH EXISTING CONDITIONS.
- SEE DETAIL 1-P101.
- 8 HOT WATER PIPING TO RUN TIGHT TO WALL BELOW SERVING LINE COUNTER. CONTRACTOR TO ANCHOR PIPING SECURELY TO
- 9 DRAIN LINE FROM FOOD WARMERS TO RUN TIGHT TO WALL AND TERMINATE INDIRECT TO FLOOR SINK.
- PROVIDE NEW RETURN GRILLE IN EXISTING CEILING BELOW
- 11> PROVIDE ISOLATION BALL VALVE. (TYP)

VACUUM BREAKER.

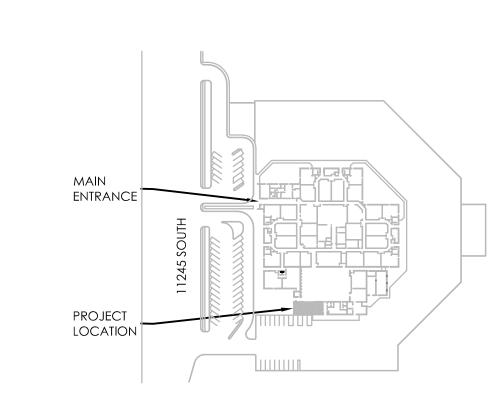
- VENT LINE TO RISE UP AT WALL TO ABOVE CEILING, ANCHOR PIPING SECURELY TO WALL. COORDINATE WITH GENERAL
- CONTRACTOR TO SAWCUT AND EXCAVATE TRENCH FOR NEW VENT LINE. CONTRACTOR TO BACKFILL AND COMPACT FILL AND RE CONCRETE TO MATCH EXISTING FLOOR SLAB.
- (14) VENT THRU ROOF.

WASTE PIPING PRIOR TO MAKING ANY SAW CUTS.

REFERENCE NOTES

- RUN NEW WASTE PIPING BELOW FINISH FLOOR.
- RE CONCRETE TO MATCH EXISTING FLOOR SLAB.
- CONNECT NEW WASTE LINE INTO EXISTING WASTE LINE LOCATED IN THIS APPROXIMATE LOCATION. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING WASTE LINE PRIOR TO SAW CUTTING.
- CONNECT NEW HOT WATER LINE TO EXISTING HOT WATER LINE LOCATED IN THIS APPROXIMATE LOCATION. CONTRACTOR TO FIELD VERIFY SIZE AND LOCATION.
- 6 INSTALL SPILL RESISTANT VACUUM BREAKER ABOVE CEILING.
- 7 HOT WATER PIPING TO DROP AT WALL TO BELOW SERVING COUNTER, ANCHOR PIPING SECURELY TO WALL. COORDINATE WITH GENERAL CONTRACTOR ON STAINLESS STEEL COVER. HOT WATER PIPING TO BE INSULATED INSIDE STAINLESS STEEL

- CONTRACTOR ON STAINLESS STEEL COVER.



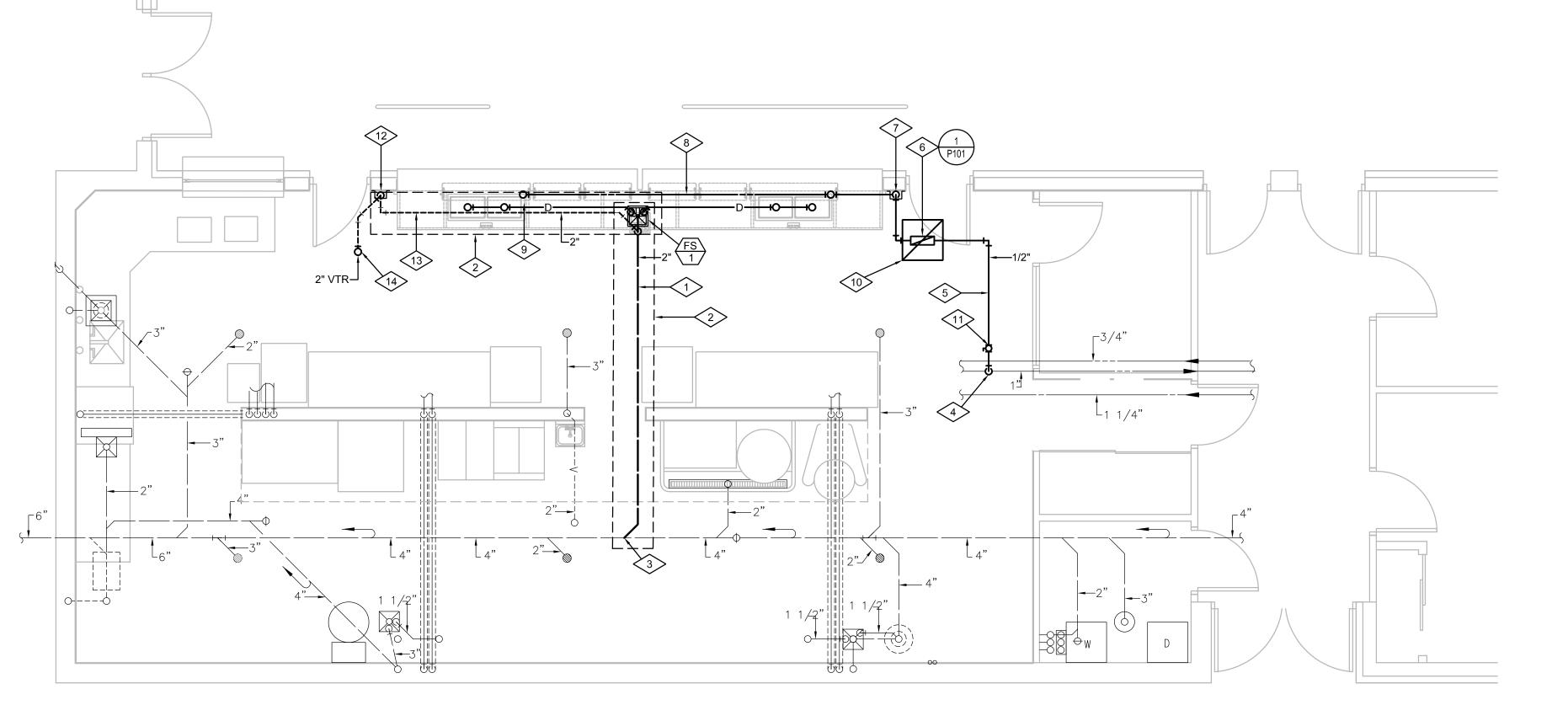
Plumbing Floor Plan

CONSTRUCTION DOCUMENTS JANUARY 1, 2020

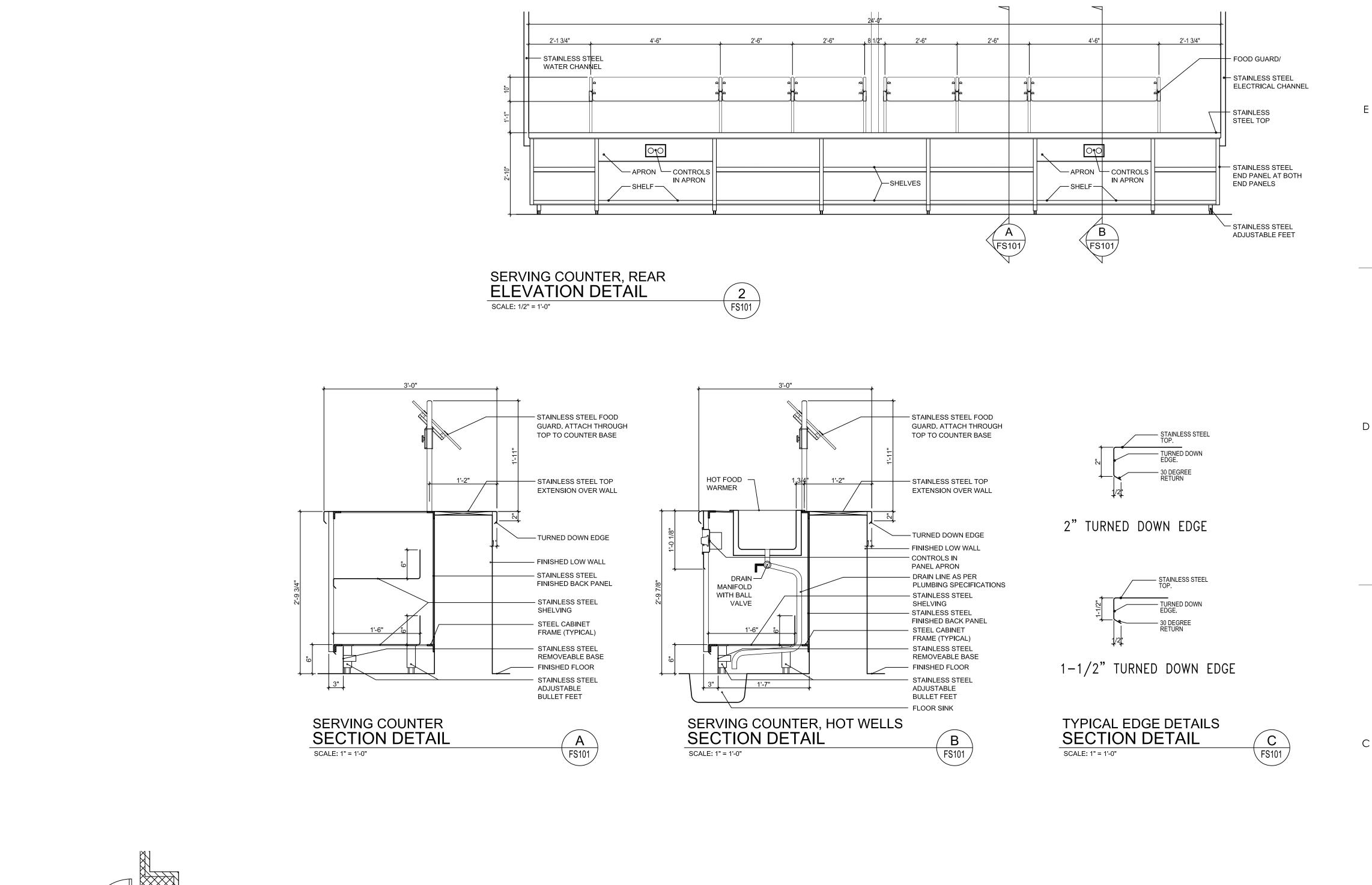
NJRA Project #

Key Plan





Plumbing Floor Plan

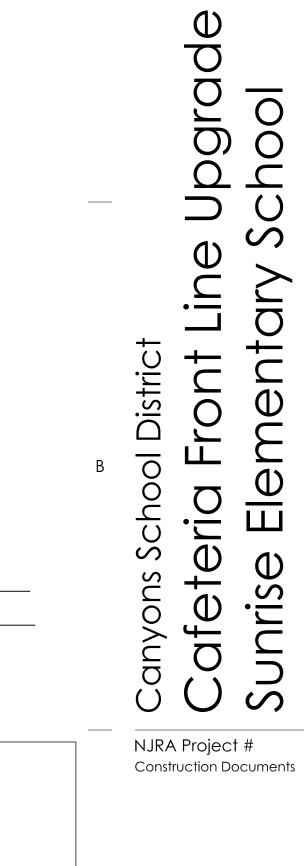




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STAINLESS STEEL SERVING COUNTER

EACH STAINLESS STEEL WATER SHROUD
EACH STAINLESS STEEL ELECTRICAL CONDUIT SHROUD

LOT FOOD GUARD SERVING SHELF
EACH DROP-IN FOOD WARMER: TWO PAN

PROJECT LOCATION

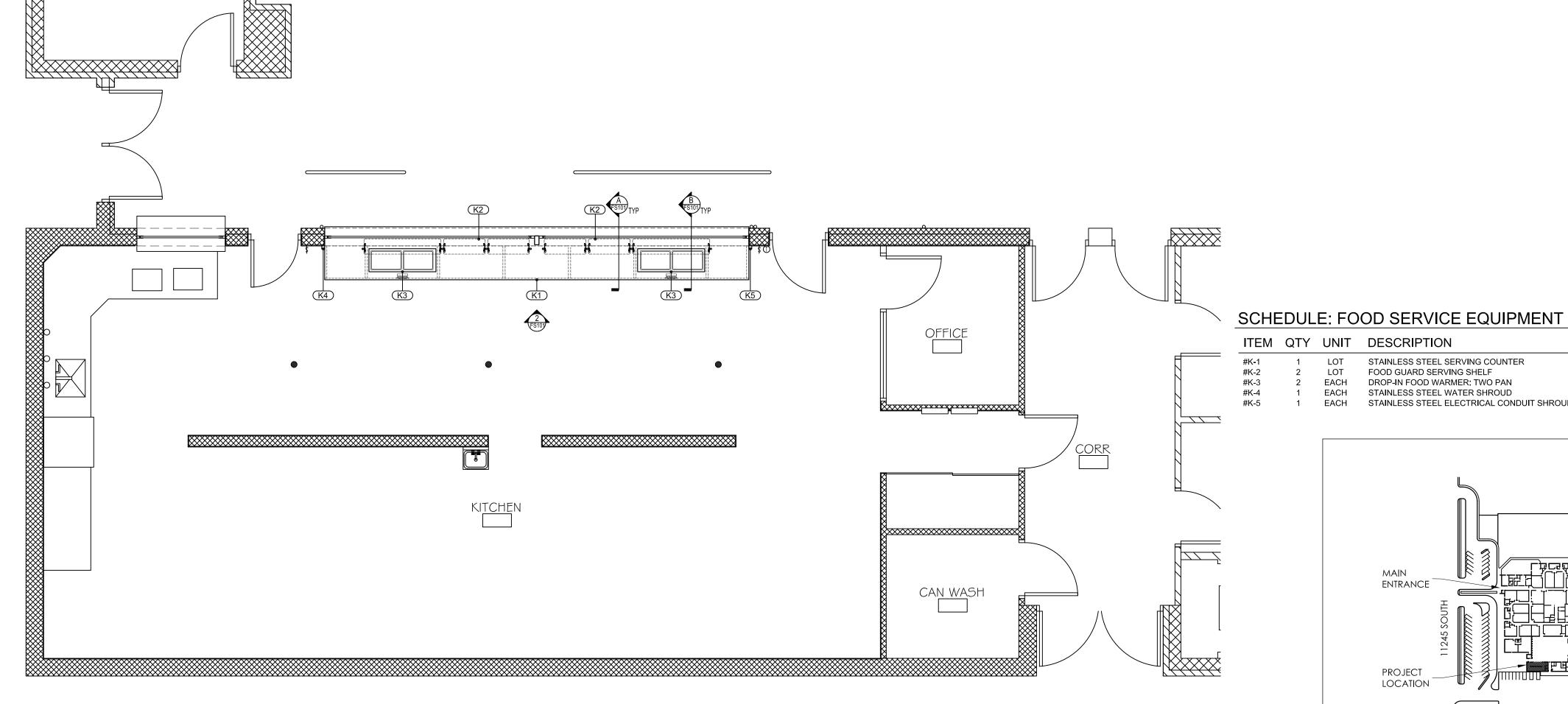
Key Plan

Food Service Equipment Plan

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Jan 1, 2021

FS101



Food Service Equipment Plan

Scale: 1/4" = 1'-0"

