

### Addendum No. 03.1

Issued: March 21, 2025

Project Name:	Brighton High School Teen Center
Project No.:	2024516
Bid Document Date:	March 1, 2025
Bid Package:	NA
Owner Name:	Canyons School District

This addendum is issued to all bidders for the Construction Contract for the above referenced project.

This addendum serves to clarify, revise or supersede information in the Project Manual, the Drawings and if applicable, previously issued Addenda. All bidders submitting proposals on the above project shall be governed by the following changes and shall acknowledge receipt of this Addendum on the Bid form.

### The date for receipt of the bids is unchanged by this Addendum.

### A. Changes to the Project Manual

Changes to attached specification sections are indicated in red text with deleted text, if applicable, removed from the section.

## ARCHITECTURAL

- A3.1 Sheet G500
  - Wall type S3BX has been clarified to include PL1 surface as shown on elevations.
- A3.2 Sheet A101
  - Reflected Ceiling plan has been clarified to show hatch of existing ACP2 ceiling tiles.
  - Door A103 has been clarified to show existing door to be reused.
- A3.3 Sheet A410
  - Keynotes clarified to indicate filler panels to be used at cabinetry.
- A3.5 Sheet A710
  - Detail A2 has been omitted as it does not apply to the project.

## ELECTRICAL

A3.6 Sheet E101

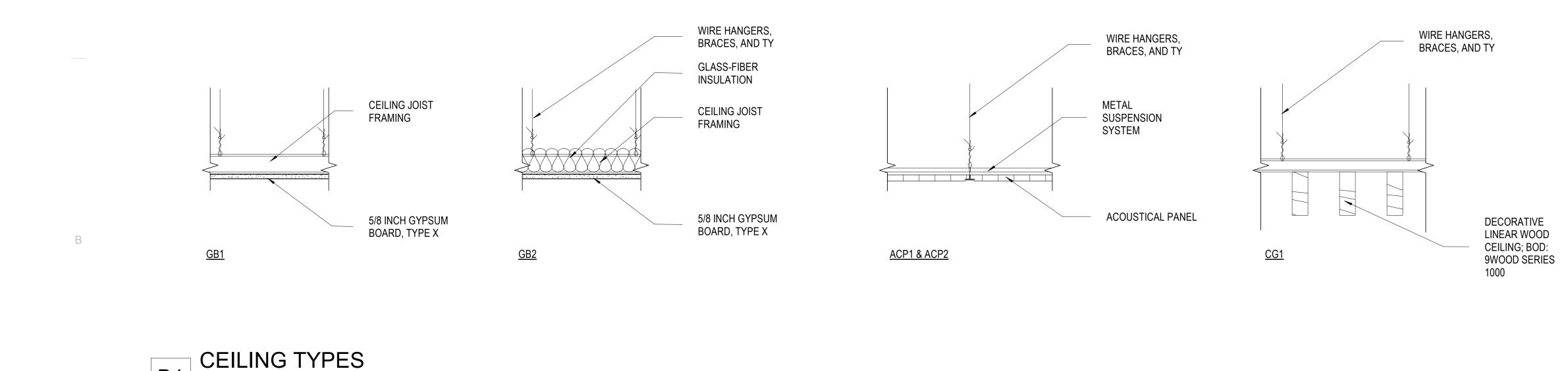
• Keynote E3 has been clarified.

## Attachments:

## Drawings:

Sheets G500, A101, A410, A710, E101.

END OF ADDENDUM



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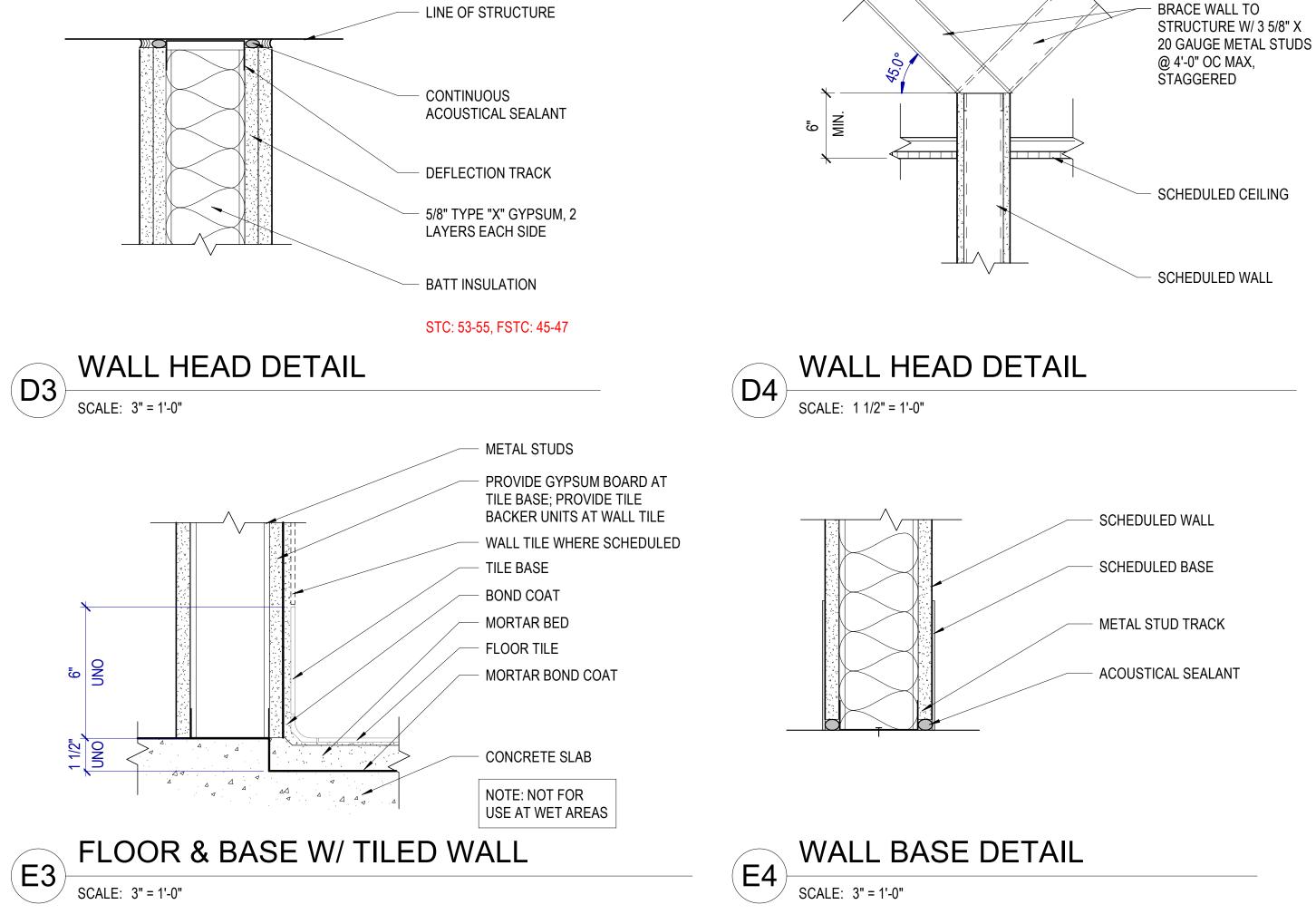
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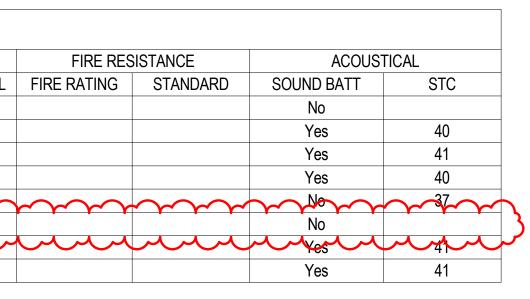
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SCALE: 1 1/2" = 1'-0"

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	INTERIOR WALL TYPE SCHEDULE								
	TAG	CONSTRUCTION							
	MARK	DESCRIPTION	WIDTH	TERMINATION	LIMITING HEIGHT	HEAD DETAIL	BASE DETAIL		
	S1X	5/8" GB + 0 7/8" MTL FURRING	1 1/2"	TO DECK	15'-6"				
	S3A	5/8" GB + 3 5/8" MTL STUD + 5/8" GB	4 7/8"	TO DECK	16'-6"				
X1B	S3AT	5/8" GYP BD + 6" MTL STUD + 5/8" BACKER BD +TILE	5 7/8"	TO DECK	24'-6"				
	S3AX	3 5/8" MTL STUD + 5/8" GYP BD	4 1/4"	TO DECK	16'-6"				
	S3B	5/8" GB + 3 5/8" MIL STUD + 5/8" GB	47/8"	IDDECK	16'6"	$\sim$			
्र	S3BX	PL1 + 5/8" GB + 3 5/8" MTL STUD	4 1/4"	TO DECK	15'-6"				
٦	SGA	5/8"GB+6"MPL STUDI-5/8 GB	71/4	TODECK	24'0'		m		
	S6AT	TILE + 5/8" BACKER BD + 6" MTL STUD + 5/8" GYP BD	8 1/4"	TO DECK	24'-6"				



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# **INTERIOR WALL TYPE GENERAL NOTES**

RE: G500 for wall termination details which occur at metal deck/structure or at base of wall.

## Continuity:

Wall type designations imply that the walls are continuous, typically from corner to corner and until another wall type is indicated. At the intersection of walls of dissimilar sound and/or fire-resistance ratings, the wall with the more restrictive requirements shall continue through, uninterrupted and shall take precedence.

# Typical Interior Wall Type: S6A, UNO.

Glass-mat Tile Backing Board: Where stud walls with tile finishes are scheduled, provide glass-mat tile backing board for the full height and width of the tile. Balance of wall to be gypsum board, UNO.

## Water-resistant Gypsum Board:

Provide water-resistant gypsum board at walls in wet areas with non-tile finishes.

Acoustical Sealant: At metal stud walls with an STC rating, provide acoustical sealant at top and bottom tracks.

## Sound Attenuation Batts:

Where indicated, provide sound attenuation batts sized to fit snuggly in the wall cavity. Fill all voids in the wall, from floor to deck, including at wall intersections to prevent sound leakage into adjacent rooms.

## Metal Stud Partitions:

Extend interior walls and partitions from floor to roof deck or floor deck above, unless noted otherwise. The specifications indicate a minimum metal stud gauge; increase the gauge above the minimum as required by the metal stud manufacturer for actual wall heights, deflection criteria and code required horizontal load.

## Design requirements for metal stud walls: 5 PSF lateral load; L/240 deflection. Stud Spacing: 16" on center, unless noted otherwise.

Provide bracing at 48" OC maximum at non-composite walls (walls that don't have gypsum board full height

on each side of the stud).

Provide control joints at 30'-0" OC maximum. If not shown, coordinate location with Architect.

## Rated Wall Identification:

Provide 3" high block letters (with 3/8" minimum stroke), stencil the fire resistance rating on the wall at 30' maximum intervals, measured horizontally and within 15' of the end of the wall. Provide one (1) label minimum per wall.

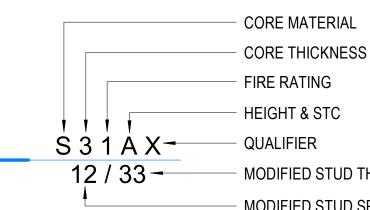
Locate identification in accessible concealed floor areas, if any and in the accessible space between ceiling and structure above.

## Wall Schedule Abbreviations CMU - Concrete Masonry Unit

GB - Gypsum Board GTB - Glass-mat Tile Backing Board

IGB - Impact-resistant Gypsum Board

## WALL TYPE TAG DESCRIPTION



MODIFIED STUD THICKNESS

MODIFIED STUD SPACING

# Core Material: S - Metal Stud

- Core Thickness: Metal Studs:
- Number indicates metal stud thickness, rounded down where applicable
- 0 7/8" 1 - 1 5/8"
- 2 2 1/2"
- 3 3 5/8" 4 - 4"
- 6 6"
- 8 8"

## Rating: Number indicates the fire-resistive rating in hours. Unrated walls have no designation.

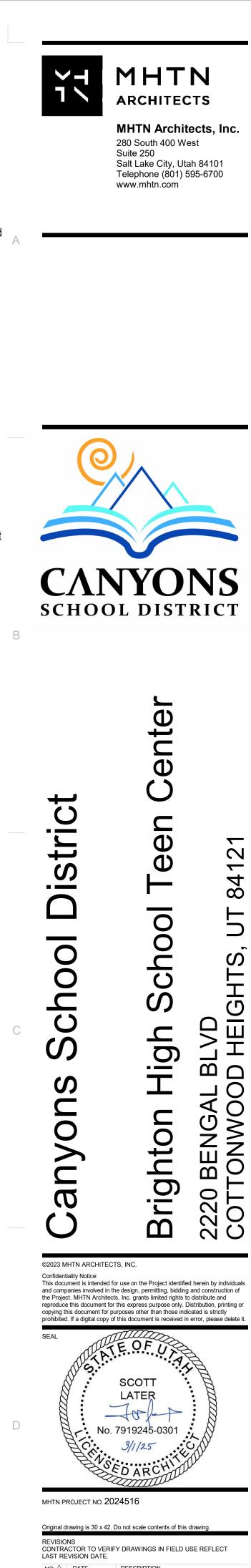
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# Height and STC:

- A Wall is continuous to the structural deck above and includes sound batt B - Wall is continuous to the structural deck above with no sound batt
- C Wall extends to 6" above the ceiling and includes sound batt
- D Wall extends to 6" above the ceiling with no sound batt E Wall extends to finished ceiling and includes sound batt
- F Wall extends to finished ceiling with no sound batt
- P Wall is partial height {to 5'-0" ĂFF} {- RE: Floor Plan for top of wall}
- Asymmetric Modifiers:
- X Single side gypsum board T - Glass-mat tile backing board with tile finish

METAL STUD TRACK

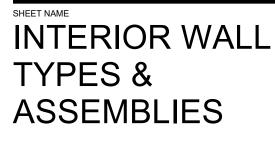
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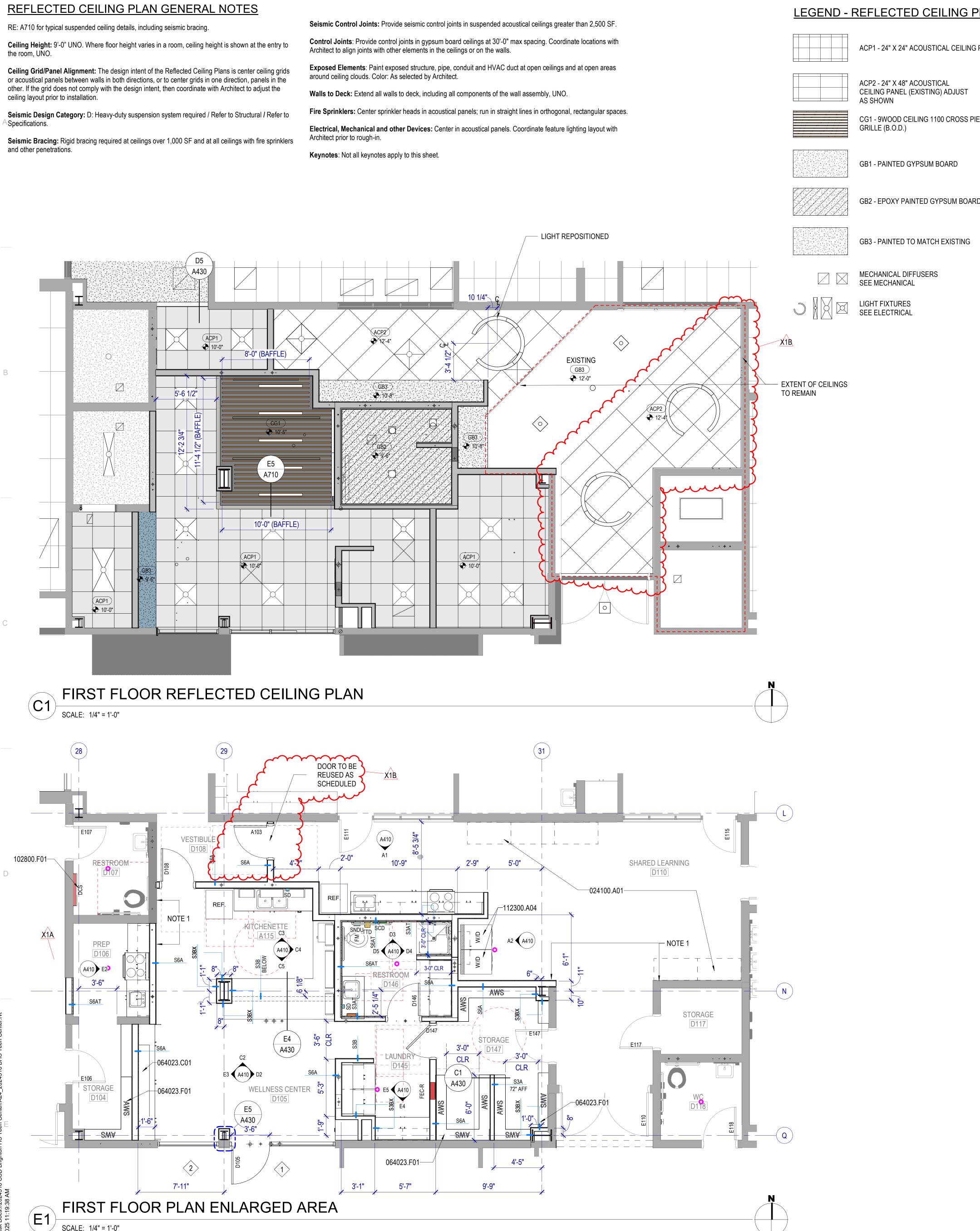
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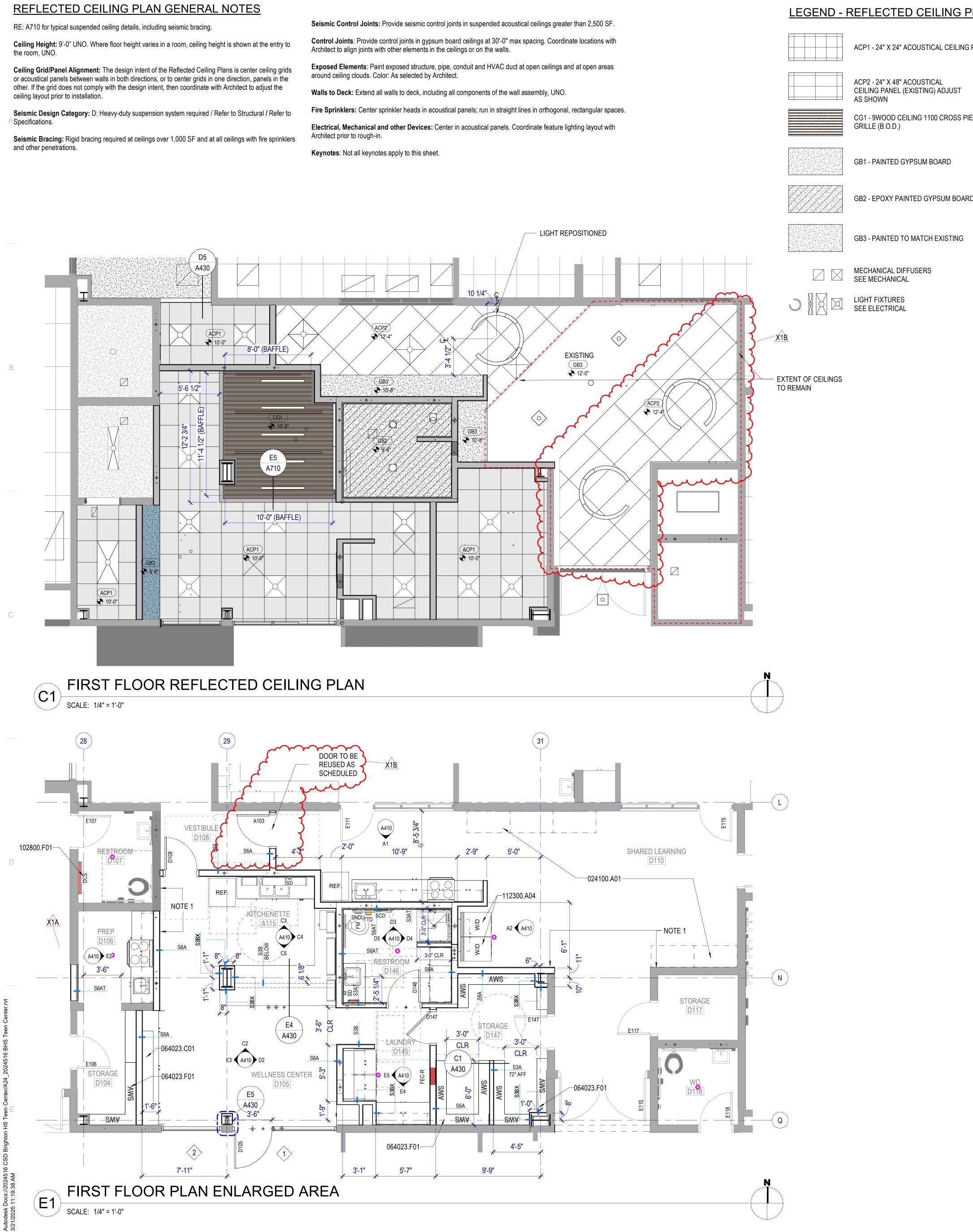


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NG PLANS	LEGEND - FLOOR PLAN	FLOOR PLAN GENERAL NOTES
	FEC-R FIRE EXTINGUISHER + CABINET RECESSED	References to sheets below are provided to aid in navigating the drawings
CEILING PANEL	「 <sup>CG</sup> STAINLESS STEEL 「ゴー」 CORNER GUARD	RE: G200 for Fixture Mounting Heights.
	FLOOR MOUNTED TOILET	RE: G500 for Interior Wall Types.
	FLOOR MOUNTED TOILET RE: PLUMBING	RE: G600 for typical details.
JUST	COUNTER MOUNTED SINK RE: PLUMBING	RE: A111 for slab edges, recesses and other transitions.
ROSS PIECE	WASHER & DRYER, OFOI	RE: A600 for the Door Schedule.
		RE: A620 drawings for Window Types.
RD	REF. REFRIGERATOR, OFOI	<b>Rated Construction:</b> Provide as shown on the plans, the Life Safety Plar documents. Seal penetrations with systems applicable to the application a
	EXISTING, RE-USED	agency certifications.
	STOVE/RANGE	Keynotes: Not all keynotes apply to this sheet.
M BOARD	NOTE: PROVIDE ITEMS INDICATED IN THE LEGE	ΝΠ

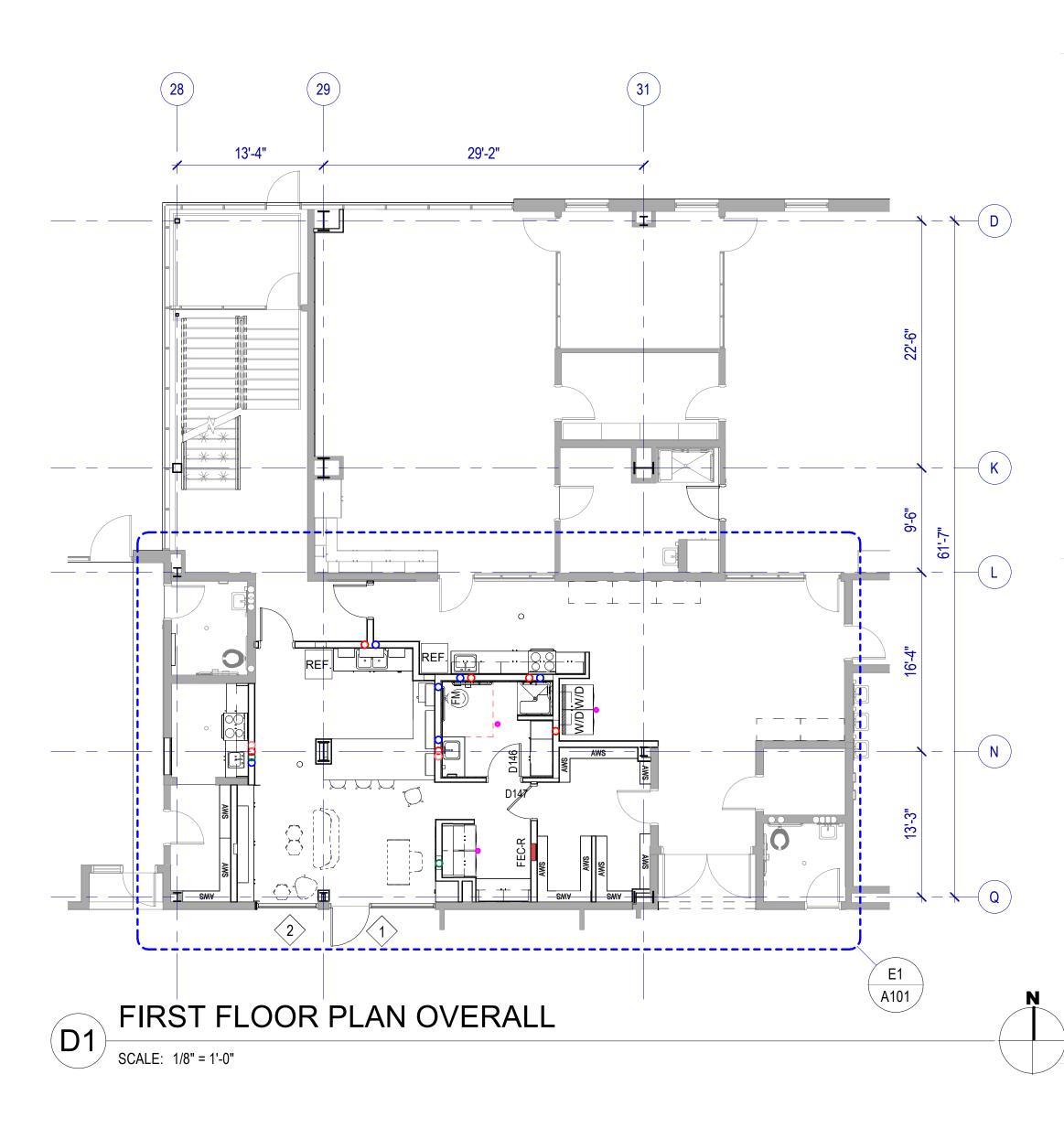
NOTE: PROVIDE ITEMS INDICATED IN THE LEGEND IN THE QUANTITIES SHOWN ON THE PLANS AND ELEVATIONS.

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Plans and elsewhere in the n and that have UL or other testing

## **KEYNOTES**

024100.A01	EXISTING SPED CUBBIES, REUSED
024100.A02	DOOR TO BE REUSED AS SCHEDULED
064023.C01	PLASTIC LAMINATED FLOATING SHELF WITH INTEGRAL SUPPORTS
064023.F01	WALL MOUNTED, 3/4" PLASTIC LAMINATE ADJUSTABLE SHELVING W/ EDGE BANDING
102800.F01	DIAPER-CHANGING STATION; OFCI
112300.A04	EXISTING WASHING MACHINE AND DRYER
NOTE 1	ALIGN FINISHES TO EXISTING FINISHES



# BUILDING KEYPLAN

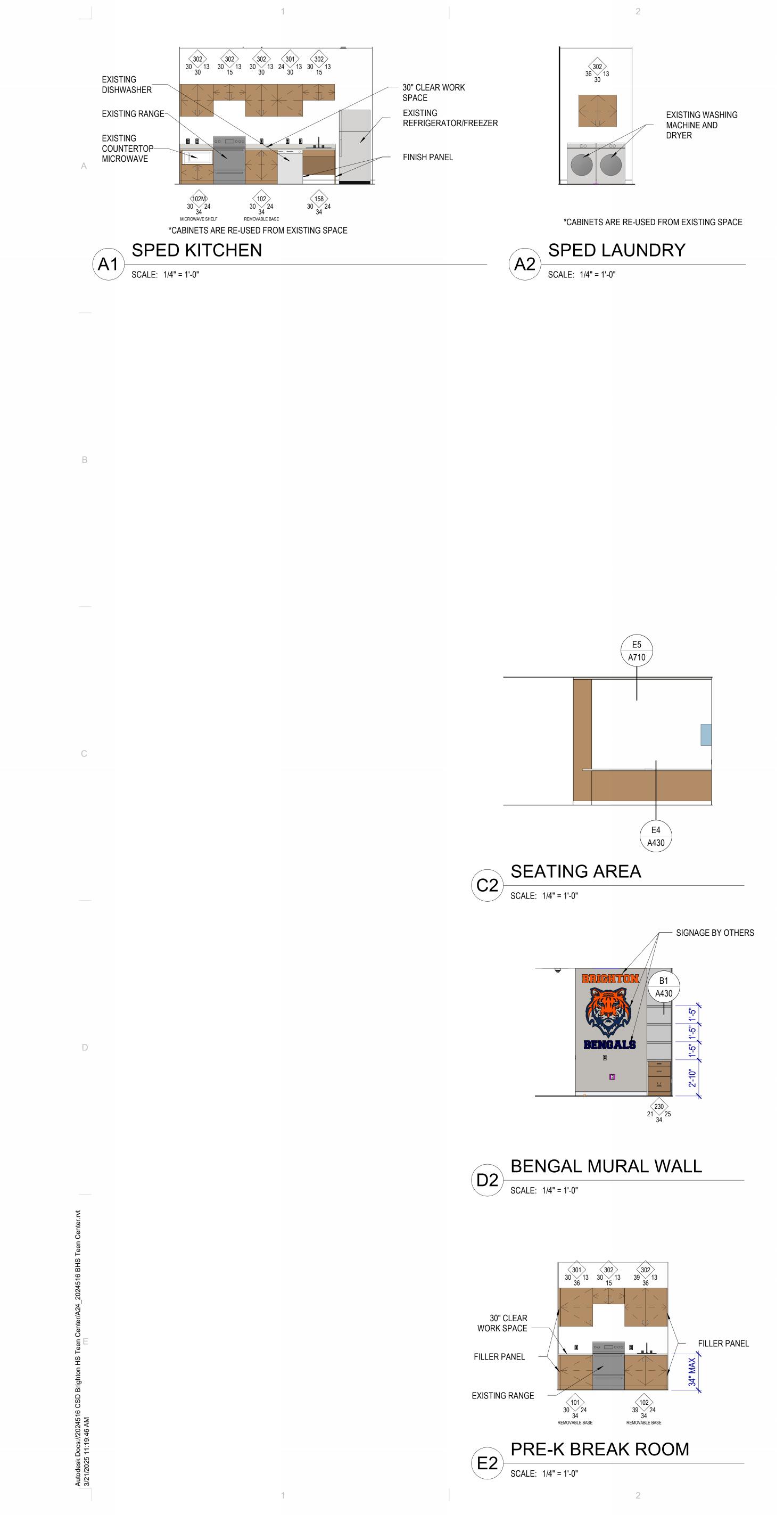
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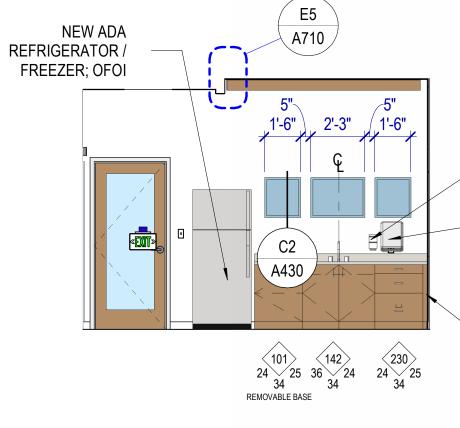
- SCOPE OF WORK

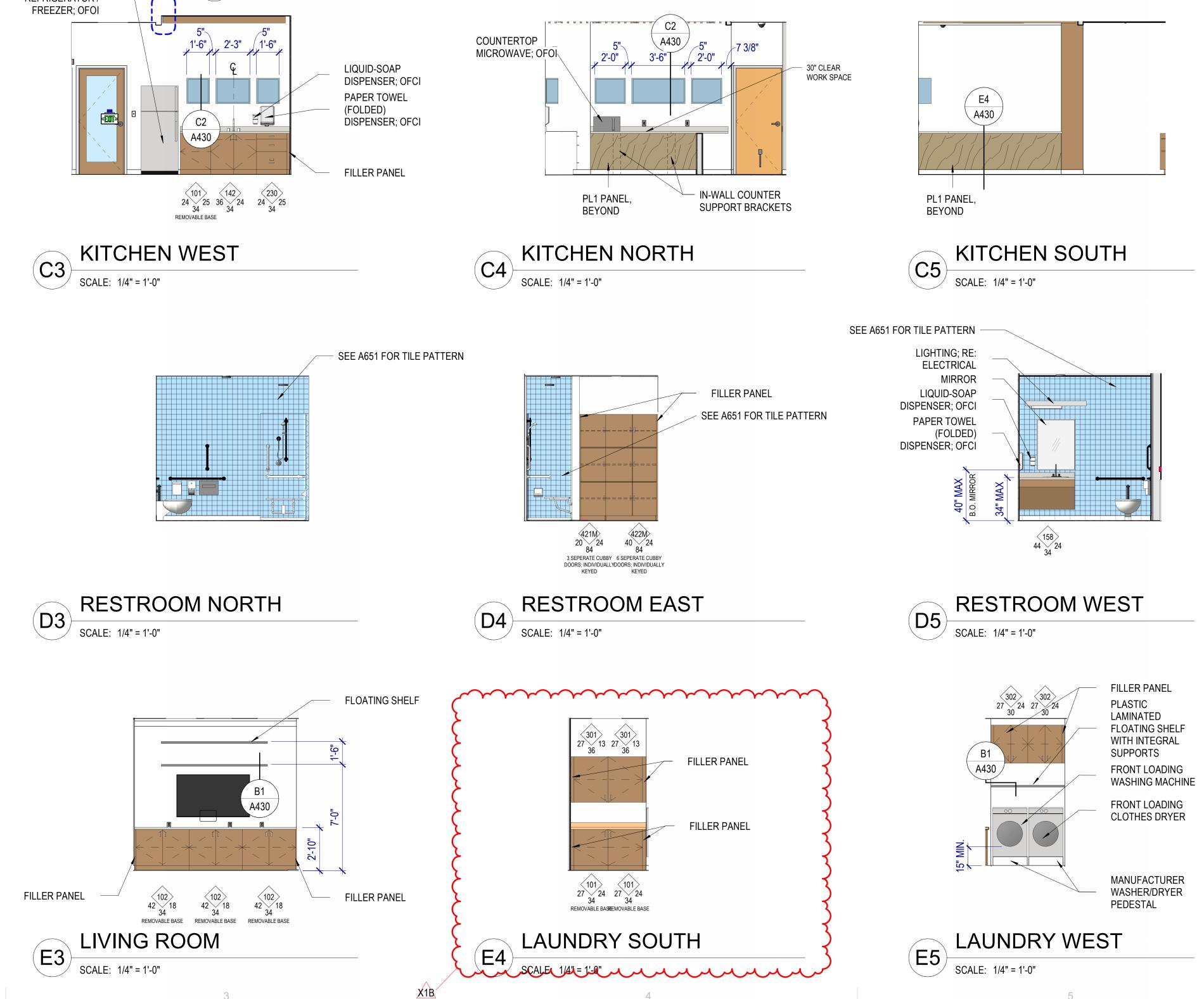


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**INTERIOR ELEVATIONS GENERAL NOTES** 

RE: North American Architectural Woodwork Standards v3.0 (NAAWS), Cabinet Design Series for cabinet types.

RE: G500 for Interior Wall Types.

RE: A640 for the Finish Schedule.

Dimensions shown to walls or casework are to finished face of wall or cabinet, UNO.

Equipment indicated by dashed lines is a general representation and shown for coordination purposes only. Mechanical, electrical, plumbing and telecom rough-in locations are shown for general coordination purposes only. Refer to mechanical, electrical, plumbing and telecom drawings.

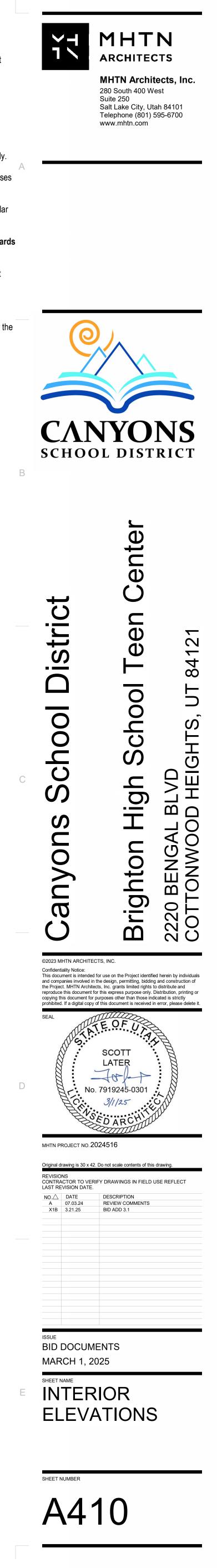
Countertops: 25" deep with 4" high backsplash, UNO. Provide sidesplashes at walls, tall cabinets or similar transitions.

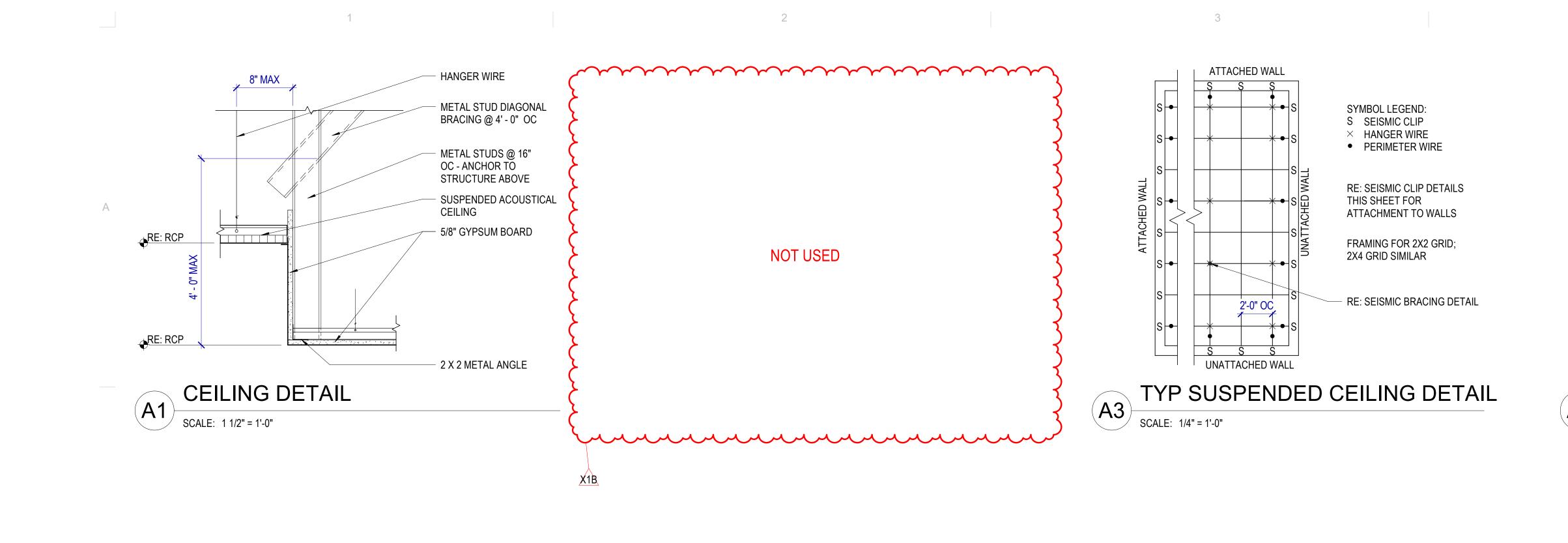
Blocking: Provide blocking in walls at cabinets, wall-mounted accessories, equipment, display boards and similar items.

Finishes: Finishes are required on all exposed and semi-exposed surfaces, UNO. Wall elevations are not shown for walls where the Finish Schedule is deemed adequate to convey the intent.

**Cabinet Locks**: Provide locks on cabinet drawers and doors, keyed alike by room, UNO.

Casework Finishes: Provide laminate finishes on all exposed and semi-exposed surfaces as required by the specifications. Provide laminate finishes on concealed surfaces if required by the specifications. Refer to NAAWS Section 10.4.4 for definitions of exposed, semi-exposed and concealed surfaces.



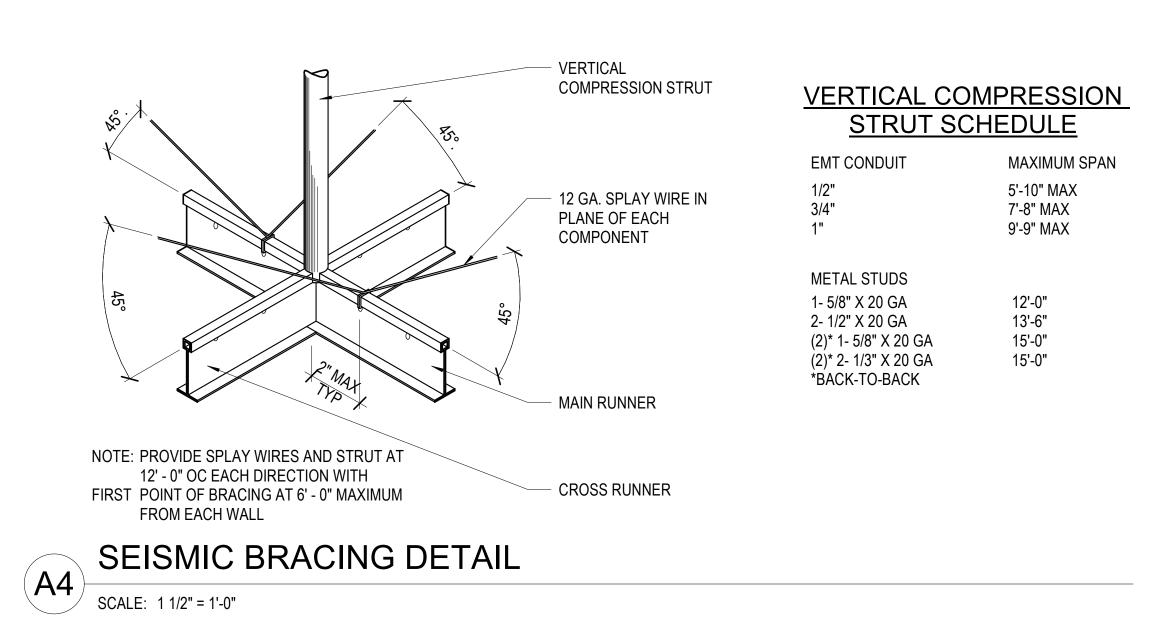


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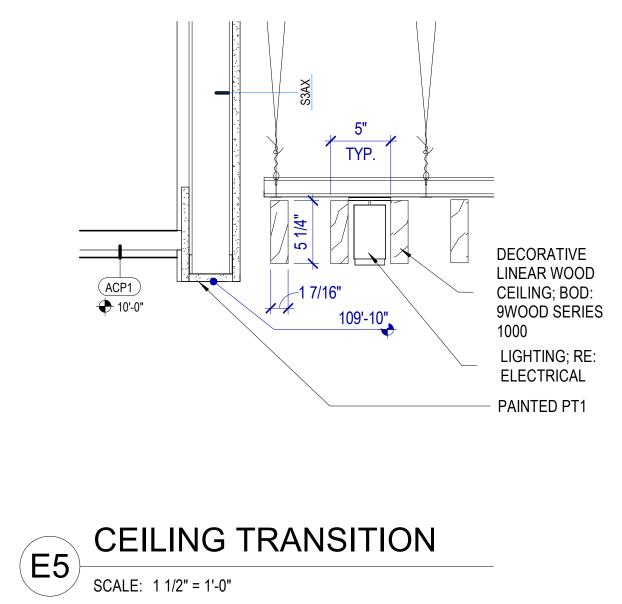
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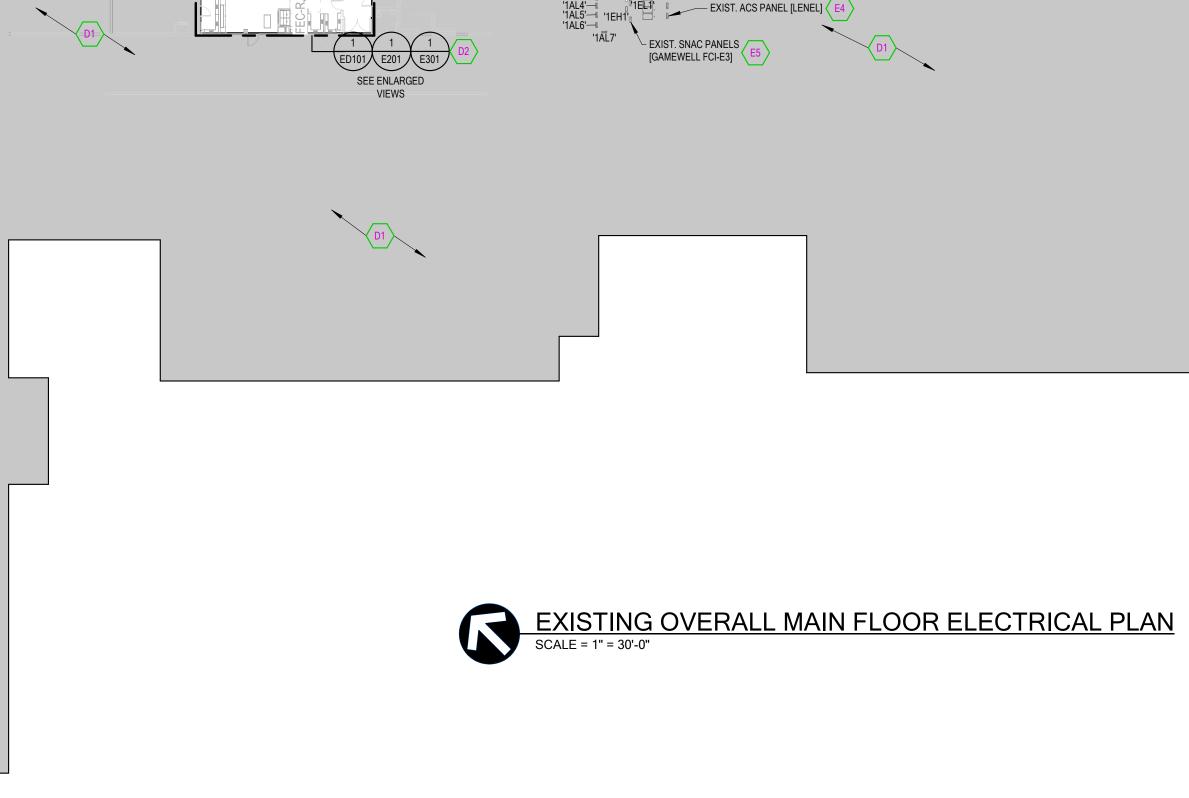


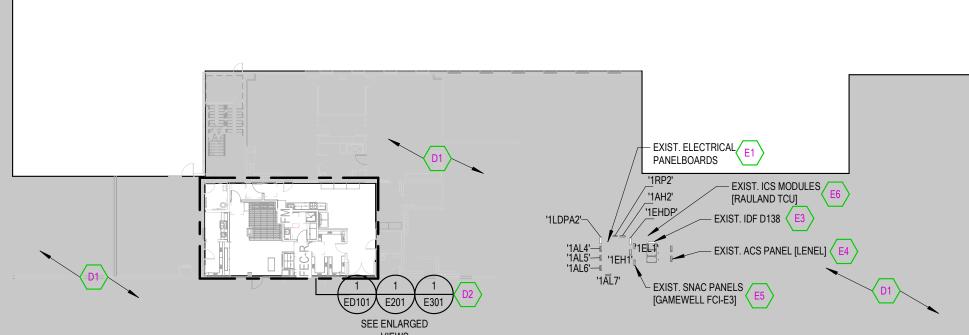
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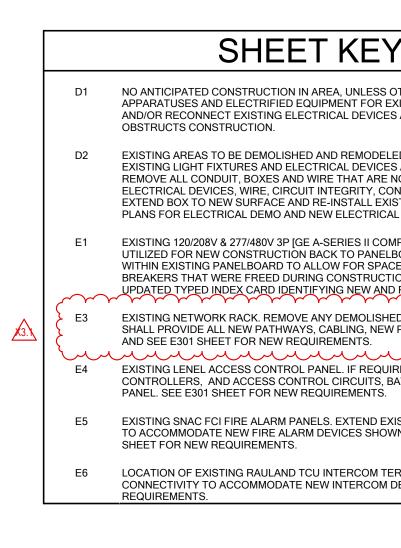
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# SHEET KEYNOTES

### NO ANTICIPATED CONSTRUCTION IN AREA, UNLESS OTHERWISE NOTED. PROTECT EXISTING ELECTRICAL APPARATUSES AND ELECTRIFIED EQUIPMENT FOR EXISTING FACILITIES AS REQUIRED. RELOCATE, REWIRE, AND/OR RECONNECT EXISTING ELECTRICAL DEVICES AND/OR EQUIPMENT THAT FOR ANY REASON

EXISTING AREAS TO BE DEMOLISHED AND REMODELED PER THE ARCHITECTURAL DRAWINGS. REMOVE ALL EXISTING LIGHT FIXTURES AND ELECTRICAL DEVICES AND APPARATUSES REQUIRED FOR DEMOLITION. REMOVE ALL CONDUIT, BOXES AND WIRE THAT ARE NOT BEING REUSED BACK TO SOURCE. KEEP EXISTING ELECTRICAL DEVICES, WIRE, CIRCUIT INTEGRITY, CONDUIT, ETC THAT ARE TO BE REUSED, RE-LOCATE OR EXTEND BOX TO NEW SURFACE AND RE-INSTALL EXISTING AND/OR NEW DEVICES AS NOTED. SEE ENLARGED PLANS FOR ELECTRICAL DEMO AND NEW ELECTRICAL LAYOUT. EXISTING 120/208V & 277/480V 3P [GE A-SERIES II COMPATIBILITY] PANELBOARDS. REMOVE ANY CIRCUITS NOT UTILIZED FOR NEW CONSTRUCTION BACK TO PANELBOARD. ADJUST EXISTING BREAKERS AS NECESSARY

WITHIN EXISTING PANELBOARD TO ALLOW FOR SPACE FOR NEW BREAKERS. UTILIZE EXISTING CIRCUIT BREAKERS THAT WERE FREED DURING CONSTRUCTION WHEN NECESSARY/AVAILABLE. PROVIDE NEW UPDATED TYPED INDEX CARD IDENTIFYING NEW AND REMAINING CIRCUITS. E3 EXISTING NETWORK RACK. REMOVE ANY DEMOLISHED NETWORK CIRCUITS BACK TO SOURCE. CONTRACTOR SHALL PROVIDE ALL NEW PATHWAYS, CABLING, NEW PATCH PANELS, LABEL, ETC AS REQUIRED. SEE SPECS AND SEE E301 SHEET FOR NEW REQUIREMENTS. E4 EXISTING LENEL ACCESS CONTROL PANEL. IF REQUIRED, PROVIDE NEW ENCLOSURE, NEW CARD READERS, CONTROLLERS, AND ACCESS CONTROL CIRCUITS, BATTERIES, ETC. TIE NEW ENCLOSURE TO EXISTING ACS

EXISTING SNAC FCI FIRE ALARM PANELS. EXTEND EXISTING FIRE ALARM INITIATION/NOTIFICATION CIRCUITS TO ACCOMMODATE NEW FIRE ALARM DEVICES SHOWN AND AS REQUIRED. MATCH SYSTEM WIRING. SEE E301 SHEET FOR NEW REQUIREMENTS.

LOCATION OF EXISTING RAULAND TCU INTERCOM TERMINATION LOCATION. PROVIDE NEW INTERCOM CONNECTIVITY TO ACCOMMODATE NEW INTERCOM DEVICES AS REQUIRED. SEE E301 SHEET FOR NEW

# GENERAL SHEET NOTE

### DIVISION 26 SHALL CONFIRM EXACT LOCATION OF EXISTING AND NEW EQUIPMENT WITH OWNERS. FIXTURE LOCATIONS ARE DIAGRAMMATICALLY SHOWN ON THE DRAWINGS. EXISTING ELECTRICAL FIXTURES, DEVICES, EQUIPMENT, CIRCUITING AND/OR CIRCUITING AND/OR CONDUITS ARE NOT SPECIFIED UNLESS NOTED ON DRAWINGS. FINAL ROUTING OF THE CONDUITS, CIRCUITING AND CABLING SHALL BE DETERMINED BY THE CONTRACTOR AND CLOSELY COORDINATED WITH OWNER. ALL EXISTING CONDITIONS MUST BE VERIFIED WITHOUT EXCEPTION.

- REFER TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING DEMOLITION DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION. DURING DEMOLITION AND NEW CONSTRUCTION, THE CONTINUATION OF BUILDING SYSTEMS MAY BE
- NECESSARY. TRACE AND IDENTIFY EXISTING ELECTRICAL SYSTEM (POWER, LIGHTING, FIRE ALARM AND SECURITY) WIRING IN AREAS PRIOR TO DEMOLITION. ELECTRICAL CONTRACTOR SHALL DISCONNECT ALL NECESSARY EQUIPMENT TO MAKE IT SAFE FOR DEMOLITION. WHERE LIVE CIRCUITS OR FEEDERS PASS THROUGH A REMODEL AREA, CONTRACTOR SHALL MAINTAIN ELECTRIC CONTINUITY TO AND PROTECT BRANCH CIRCUITS AND/OR FEEDERS PASSING THROUGH. WHERE FEEDERS AND/OR BRANCH CIRCUITS FEED BOTH LOADS IN A REMODELED AREA AND OUTSIDE OF A REMODELED AREA, CONTRACTOR SHALL DISCONNECT AND REMOVE PORTIONS OF THE ELECTRICAL BRANCH CIRCUITS AND/OR FEEDERS WITHIN THE REMODELED AREA AND REWORK BRANCH CIRCUITS AND/OR FEEDERS TO MAINTAIN ELECTRICAL CONTINUITY TO LOADS OUTSIDE OF THE REMODELED AREA.
- DEVICES AND EQUIPMENT TO BE DEMOLISHED SHALL BE REMOVED, INCLUDING ALL RELATED CONDUCTORS, RACEWAY, JUNCTION AND SPLICE BOXES UP TO THE PANELBOARD/SWITCHBOARD. ALL CONDUITS AND BOXES THAT ARE SURFACE MOUNTED AND NO LONGER REQUIRE ACTIVE CIRCUITS SHALL BE COMPLETELY REMOVED. DEVICES TO BE REMOVED ON DRYWALL OR PLASTER TYPE WALLS THAT ARE TO REMAIN SHALL HAVE THE WALL SURFACE PATCHED TO MATCH THE EXISTING FINISH. THE CONTRACTOR SHALL IDENTIFY ALL DEMOLISHED AND ABANDONED BRANCH CIRCUITS. THESE SHALL BE NOTED AS SPARE ON PANELBOARD SCHEDULES. THIS INCLUDES IDENTIFYING EXISTING ABANDONED AND SPARE CIRCUITS THAT ARE CURRENTLY IDENTIFIED AS USED. THE CONTRACTOR SHALL FURNISH NEW TYPED DIRECTORIES FOR ALL PANELBOARDS.
- THE OWNER HAS THE RIGHT TO RETAIN ALL SALVAGEABLE MATERIAL. ANY MATERIAL THE OWNER CHOOSES NOT TO ACCEPT SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR. . FULLY COORDINATE MECHANICAL EQUIPMENT ELECTRICAL CONNECTION REMOVAL AND RELOCATION WITH
- THE MECHANICAL CONTRACTOR. CONTRACTOR TO VERIFY THAT ALL EXISTING EQUIPMENT THAT IS TO REMAIN, BE REMOVED AND RE-INSTALLED ARE IN WORKING CONDITIONS. CONTRACTOR IS TO PROVIDE OWNER WRITTEN DOCUMENTATION
- OF ANY ITEMS NOT IN WORKING CONDITION PRIOR TO COMMENCING WORK IN AN AREA. 8. CONTRACTOR IS TO PROTECT IN PLACE ALL MECHANICAL, PLUMBING, ELECTRICAL ABOVE CEILINGS. THIS MAY INCLUDE BUT NOT LIMITED TO: NETWORK CABLING, COAX CABLING, CONDUITS, PIPING, DUCTWORK, ETC.
- PROVIDE ADDITIONAL CABLING SUPPORTS AS REQUIRED FOR ANY UNSUPPORTED CABLING, RACEWAY, ETC. WHERE DEVICES OR EQUIPMENT IS TO BE RELOCATED, CONTRACTOR SHALL EXTEND EXISTING CIRCUITING TO NEW LOCATION. ENSURE CIRCUIT CONTINUITY FOR OTHER DEVICES OR EQUIPMENT ON THE SAME BRANCH CIRCUIT.
- 10. WHERE FLOORS ARE BEING REMOVED AND/OR REPLACED, CONTRACTOR SHALL PROTECT ELECTRICAL FEEDERS AND BRANCH CIRCUITS WHICH ARE EITHER TO REMAIN PERMANENTLY OR UNTIL DEMOLITION IN FUTURE PHASING WHILE STRUCTURAL WORK IS PERFORMED. PROVIDE ALL NECESSARY LABOR AND MATERIALS TO PERFORM WORK AS COORDINATED WITH THE CONSTRUCTION MANAGER.
- 1. ANY FIRE ALARM DEVICE(S) REMOVED DURING DEMOLITION ARE REQUIRED TO BE RELOCATED IN THE LOCATION NECESSARY TO PROVIDE COVERAGE PER NFPA 72, AND CIRCUITED SAME AS BEFORE. FIRE ALARM DEVICE(S) ARE NOT ALLOWED TO BE LOCATED CENTER OF ANY ROOM OR SPACE. IF MORE FIRE ALARM DEVICES ARE REQUIRED CONTRACTOR SHALL PROVIDE THEM COMPLETELY. REFER TO SHEET E401 FOR MORE INFORMATION. SEE NEW SHEET FOR NEW FIRE ALARM INFORMATION. REMOVE EXISTING FIRE ALARM DEVICE (S) AS NECESSARY FOR REMOVAL OF CEILING SYSTEM. RE-INSTALL ONCE NEW CEILING IS INSTALLED.
- 12. REMOVE VOICE/DATA CABLING BACK TO DATA ROOM UNLESS NOTED OTHERWISE. 13. PROVIDE BLANK COVERPLATE ON ALL EXISTING BOXES LOCATED IN MASONRY THAT ARE NOT BEING RE-
- USED. PROVIDE BLANK COVERPLATE ON ALL UNUSED BOXES. 14. COORDINATE THE DEMOLITION, PATCH, AND REPAIR OF CEILING FOR ALL LIGHTING AND ELECTRICAL
- APPARATUSES IN THIS AREA. DISCONNECT AND RE-CONNECT AS REQUIRED TO MAINTAIN ALL SYSTEMS. 15. DEVICES NOTED WITH SUBSCRIPT '(E)' DENOTES THE DEVICES ARE EXISTING AND TO REMAIN UNTOUCHED DURING DEMOLITION, UNLESS OTHERWISE NOTED.
- 16. CIRCUIT #S, IF SHOWN, ARE FROM RECORD DRAWING AND SHOWN FOR REFERENCE ONLY. VERIFY EXISTING CONDITIONS PRIOR TO WORK.

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